

REVISIONS

REV	DATE	DESCRIPTION
A	05/19/23	ISSUED FOR CLIENT REVIEW
B	07/12/23	ISSUED FOR TENDER & DEVELOPMENT PERMIT

NOTE:



760 CADDER AVE.
KELOWNA, BC

PLAN INDEX

TITLE	PAGE
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A3	NORTH & WEST ELEVATION
A4	FOUNDATION PLAN
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A7	SECTIONS 'A'- 'A', 'B'- 'B', 'C'- 'C' & ROOF PLAN
A8	GARAGE ELEVATIONS
A9	GARAGE FNDN. FLR PLAN, ROOF PLAN & CROSS SECTIONS
A10	NOTES & DETAILS



ERRORS AND OMISSIONS

- EVAN GILBERT DRAFTING & DESIGN INC. shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
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EVAN GILBERT
drafting & design
www.egdrafting.ca 778.478.7722
evan@egdrafting.ca

PROJECT TITLE
760 CADDER AVE.
KELOWNA, BC

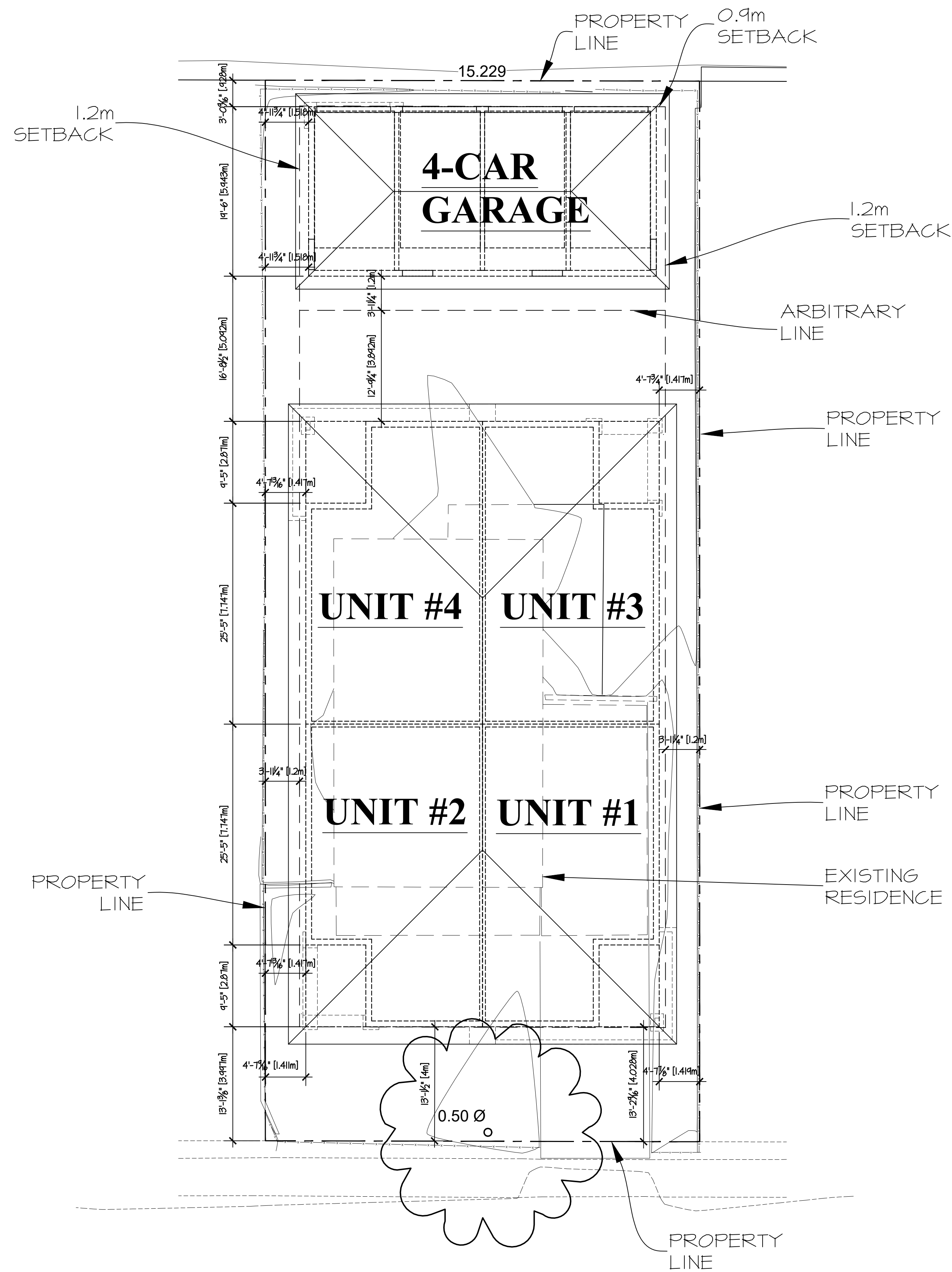
DATE: 07/12/23
DRAWING SCALE: NTS
DRAWN BY: EKG
CHECKED BY: EKG

APPROVED BY:
SHEET NAME
TITLE PAGE

PROGRESS
FOR TENDER

REVISION B	PLAN NUMBER: 871
SHEET NUMBER TITLE	SHEET 0 OF 10

REVISIONS		
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SITE COVERAGE CALCULATION:
(NOT INCLUDING IMPERMEABLE SURFACES)

SITE AREA = 566.51m² (6,097.915ft²)

PROPOSED BUILDING AREA(S):
MULTI-DWELLING BLDG. (4-UNITS) = 240.12m² (2584.61ft²)

CALCULATION:
(240.12/566.51) X 100 = 42.39% (MAX. 55% ALLOWED)

SITE COVERAGE CALCULATION:
(INCLUDING IMPERMEABLE SURFACES)

MULTI-DWELLING BLDG. (4-UNITS) = 240.12m² (2572.72ft²)
ACCESSORY BLDG. (4-CAR GARAGE) = 72.46m² (780.00ft²)
UNIT 1-4 ENTRY TERRACE = 24.21m² (260.56 ft²)
DRIVEWAY OFF LANE = 10.97m² (118.12ft²)
LIGHTED PATHWAYS = 70.06m² (754.09ft²)
TOTAL = 417.82m² (4497.38ft²)

CALCULATION:
(417.82/566.51) X 100 = 73.75% (MAX. 75% ALLOWED)

FLOOR AREA RATIO (FAR) CALCULATION:

BLDG./UNIT 1,2,3 & 4 = 105.94m² (1140.33ft²) X 4
TOTAL = 423.76m² (4561.32ft²)

CALCULATION:
(423.76/566.51) X 100 = 74.80% (MAX. 80% ALLOWED)

NOTE:
EXACT BUILDING LOCATION & ELEVATION TO BE DETERMINED ON SITE. CONFIRM ALL SETBACKS AND LOT LINES WITH REGISTERED LOT PLAN PRIOR TO CONSTRUCTION.

SITE PLAN
1/8" = 1'-0"

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PROJECT TITLE
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KELOWNA, BC

DATE: 07/12/23
DRAWING SCALE: 1/8" = 1'0"
DRAWN BY: EKG
CHECKED BY: EKG
APPROVED BY:
SHEET NAME
SITE PLAN

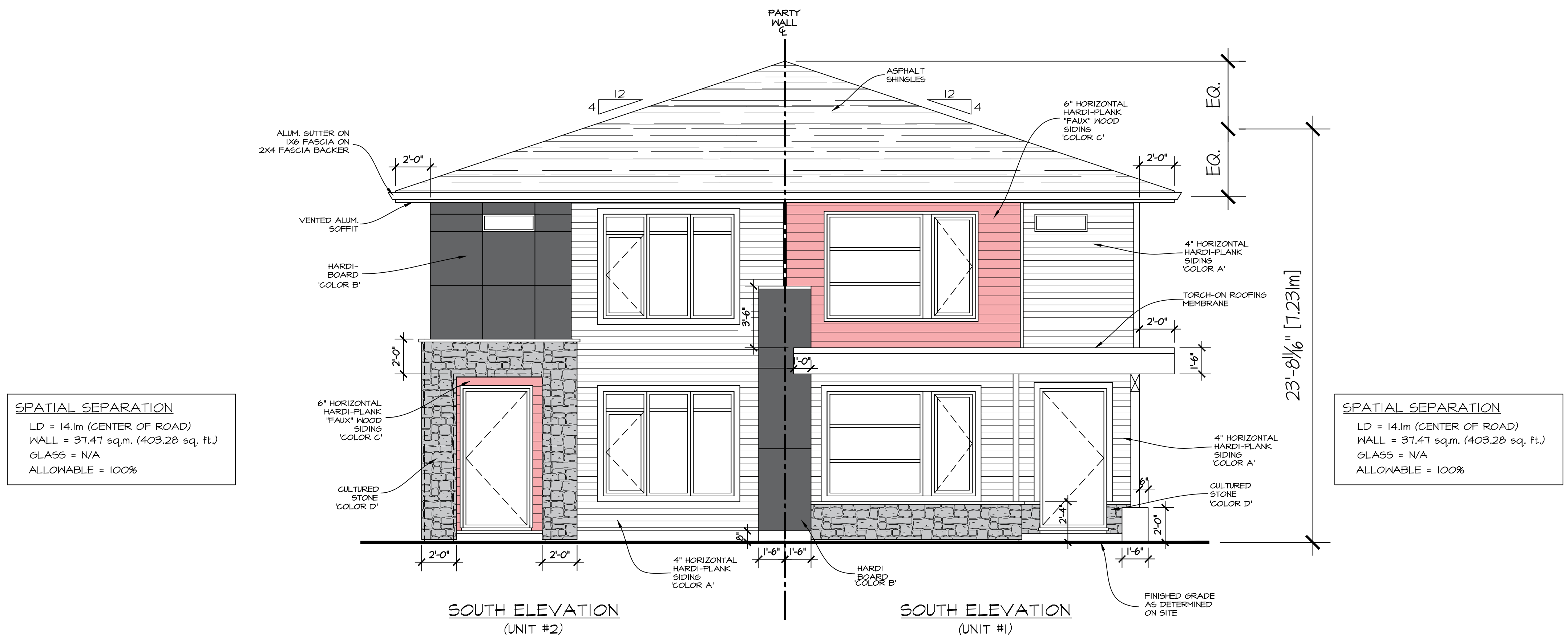
PROGRESS
FOR TENDER

REVISION B	PLAN NUMBER: 871
SHEET NUMBER A1	SHEET 1 OF 10

EGDRAFTING/EGDRAFTING/PROJECT INDEX/2023/760 - ROYAL CRAFT HOMES - 760 CADDER AVE. - FLEX DESIGN/2023/07/12/2023/1/8"=1'-0"

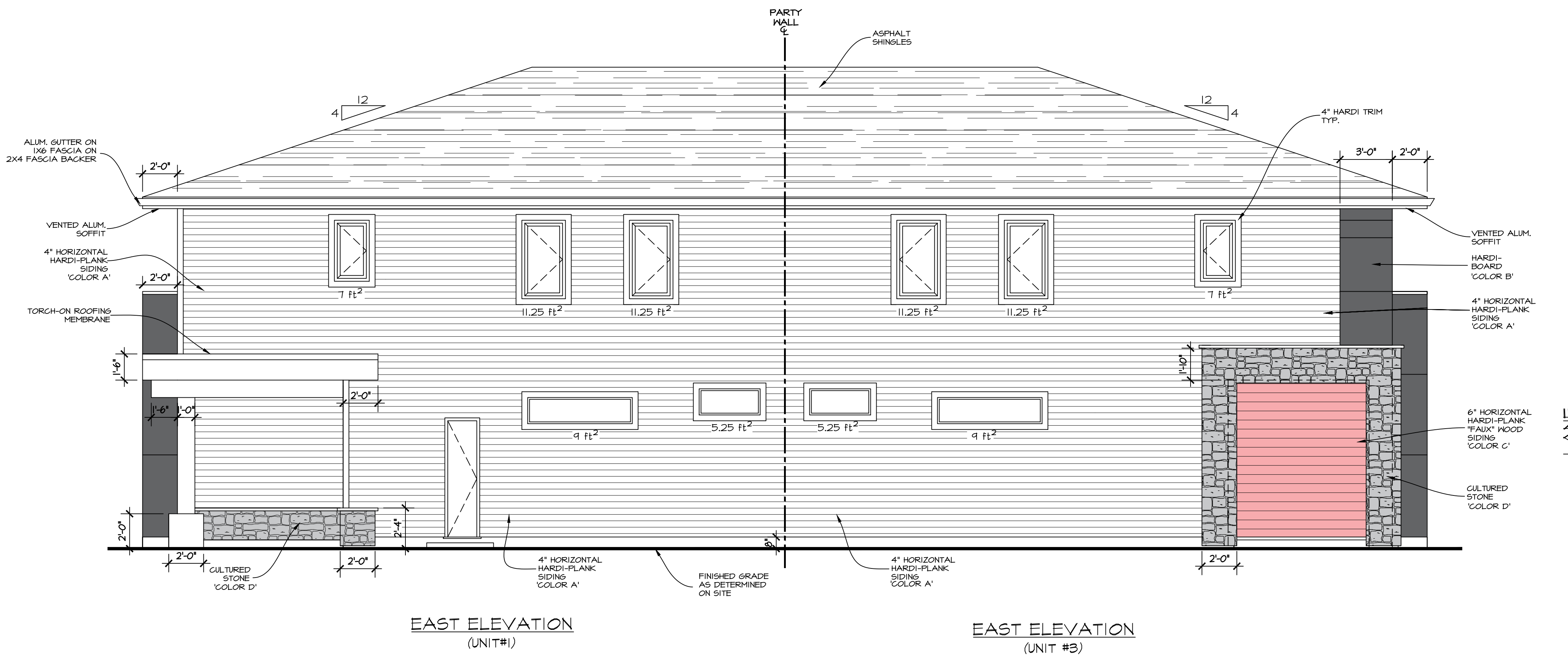
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NOTE:



SPATIAL SEPARATION
 LD = 14.1m (CENTER OF ROAD)
 WALL = 37.47 sq.m. (403.28 sq. ft.)
 GLASS = N/A
 ALLOWABLE = 100%

SPATIAL SEPARATION
 LD = 14.1m (CENTER OF ROAD)
 WALL = 37.47 sq.m. (403.28 sq. ft.)
 GLASS = N/A
 ALLOWABLE = 100%



SPATIAL SEPARATION
 LD = 1.4m
 WALL = 64.18 sq.m. (690.86 sq. ft.)
 GLASS = 4.06 sq.m. (43.75 sq. ft.)
 4.06/64.18 = 6.33% glass
 ALLOWABLE = 7.7%

SPATIAL SEPARATION
 LD = 1.4m
 WALL = 64.18 sq.m. (690.86 sq. ft.)
 GLASS = 4.06 sq.m. (43.75 sq. ft.)
 4.06/64.18 = 6.33% glass
 ALLOWABLE = 7.7%

SOFFITS PROJECTING INTO 1.2m SETBACK TO BE UNVENTED AND PROTECTED. SEE BC.BC.A-9.10.15.5 IN APPENDIX A

ERRORS AND OMISSIONS

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 KELOWNA, BC

DATE: 07/12/23
 DRAWING SCALE: 1/4" = 1'0"
 DRAWN BY: EKG
 CHECKED BY: EKG
 APPROVED BY:

SHEET NAME
4-UNIT BLDG. SOUTH & EAST ELEVATIONS

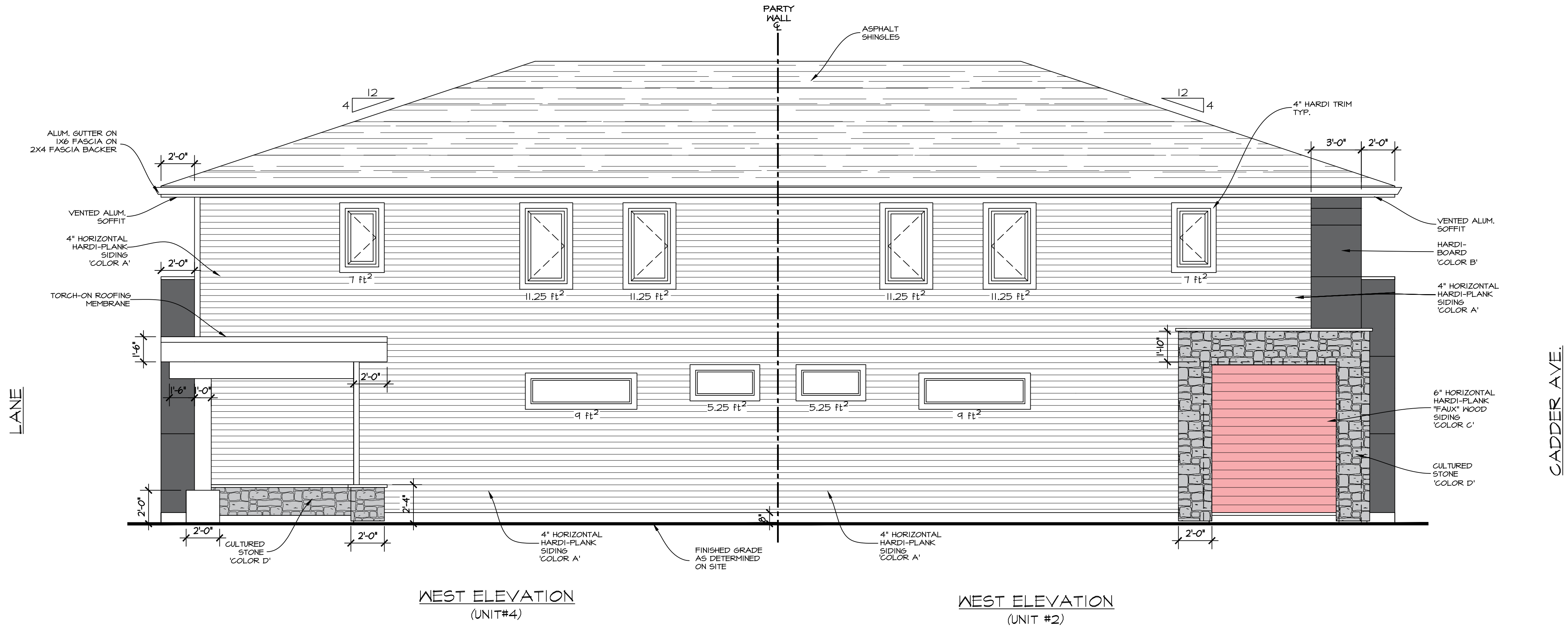
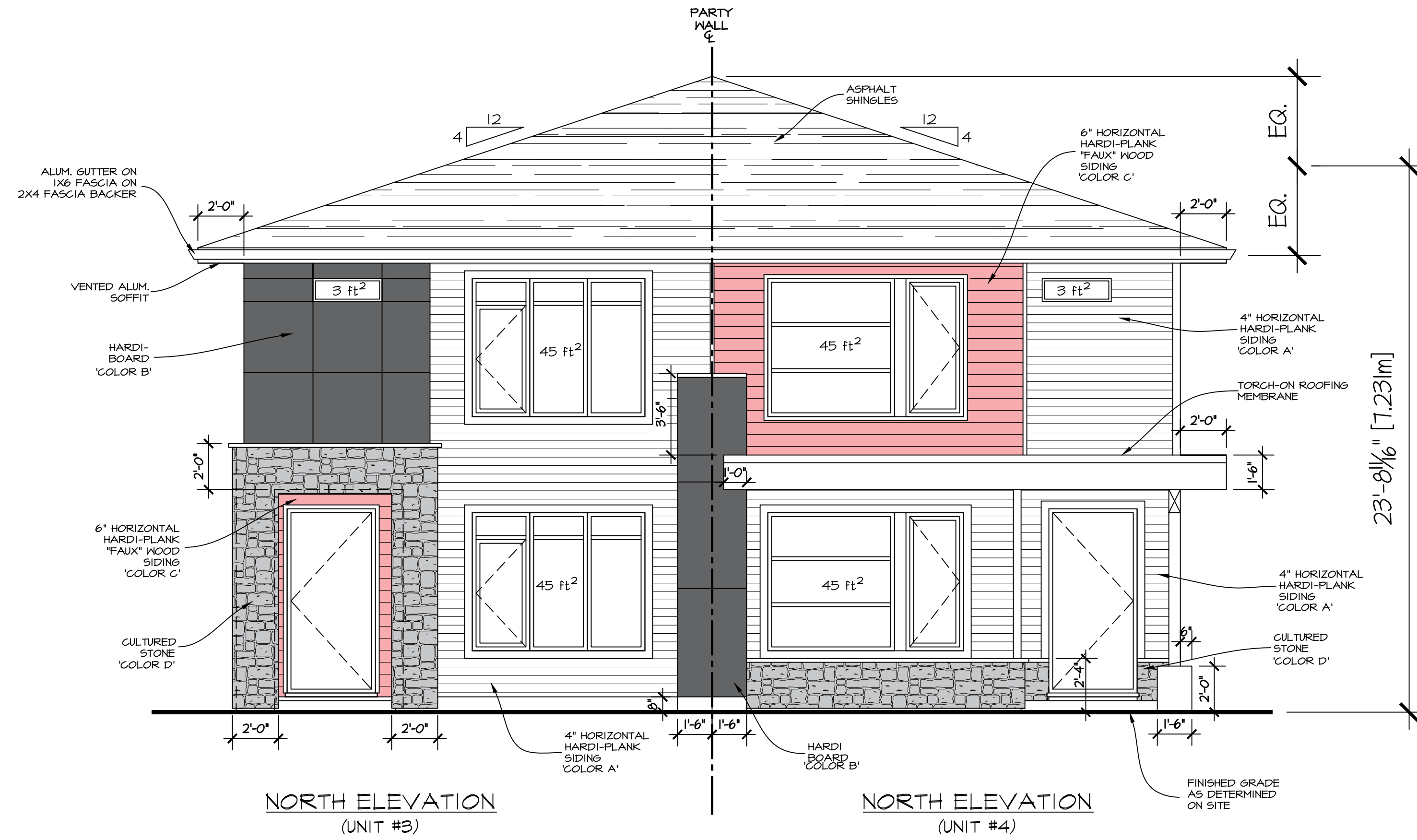
PROGRESS
FOR TENDER

REVISION	PLAN NUMBER:
B	871
SHEET NUMBER	SHEET
A2	2 OF 10

REVISIONS		
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A	05/19/23	ISSUED FOR CLIENT REVIEW
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NOTE:		

SPATIAL SEPARATION
 LD = 3,842m
 WALL = 37.47 sq.m. (403.28 sq. ft.)
 GLASS = 8.64 sq.m. (93 sq. ft.)
 8.64/37.47 = 6.33% glass
 ALLOWABLE = 23.6%

SPATIAL SEPARATION
 LD = 3,842m
 WALL = 37.47 sq.m. (403.28 sq. ft.)
 GLASS = 8.64 sq.m. (93 sq. ft.)
 8.64/37.47 = 6.33% glass
 ALLOWABLE = 23.6%



SOFFITS PROJECTING INTO 1.2m SETBACK TO BE UNVENTED AND PROTECTED. SEE BC,BC.A-9.10.15.5 IN APPENDIX A

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SPATIAL SEPARATION
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 WALL = 64.18 sq.m. (690.86 sq. ft.)
 GLASS = 4.06 sq.m. (43.75sq. ft.)
 4.06/64.18 = 6.33% glass
 ALLOWABLE = 1.7%

SPATIAL SEPARATION
 LD = 1.4m
 WALL = 64.18 sq.m. (690.86 sq. ft.)
 GLASS = 4.06 sq.m. (43.75sq. ft.)
 4.06/64.18 = 6.33% glass
 ALLOWABLE = 1.7%

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PROJECT TITLE
760 CADDER AVE.
 KELOWNA, BC

DATE: 07/12/23
 DRAWING SCALE: 1/4" = 1'0"
 DRAWN BY: EKG
 CHECKED BY: EKG
 APPROVED BY:

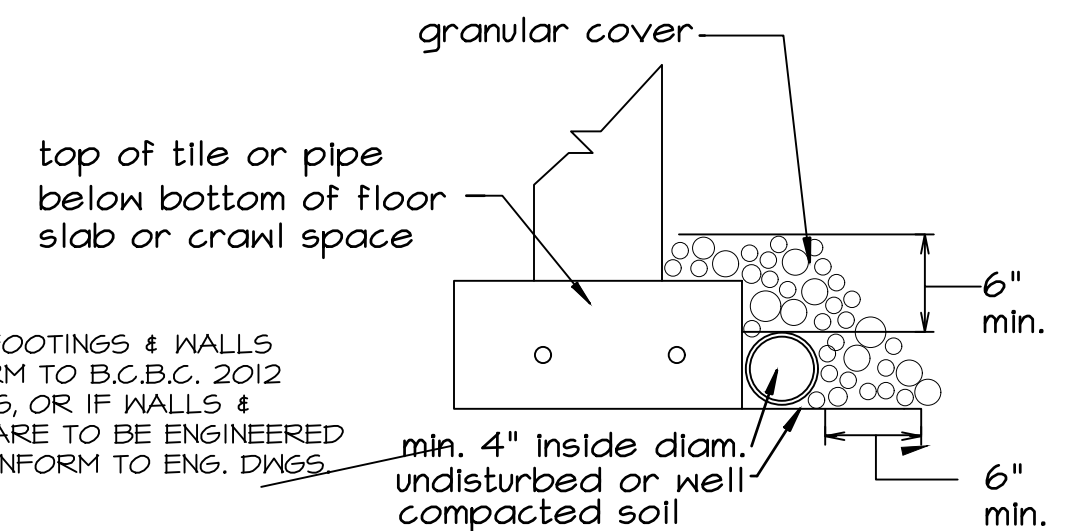
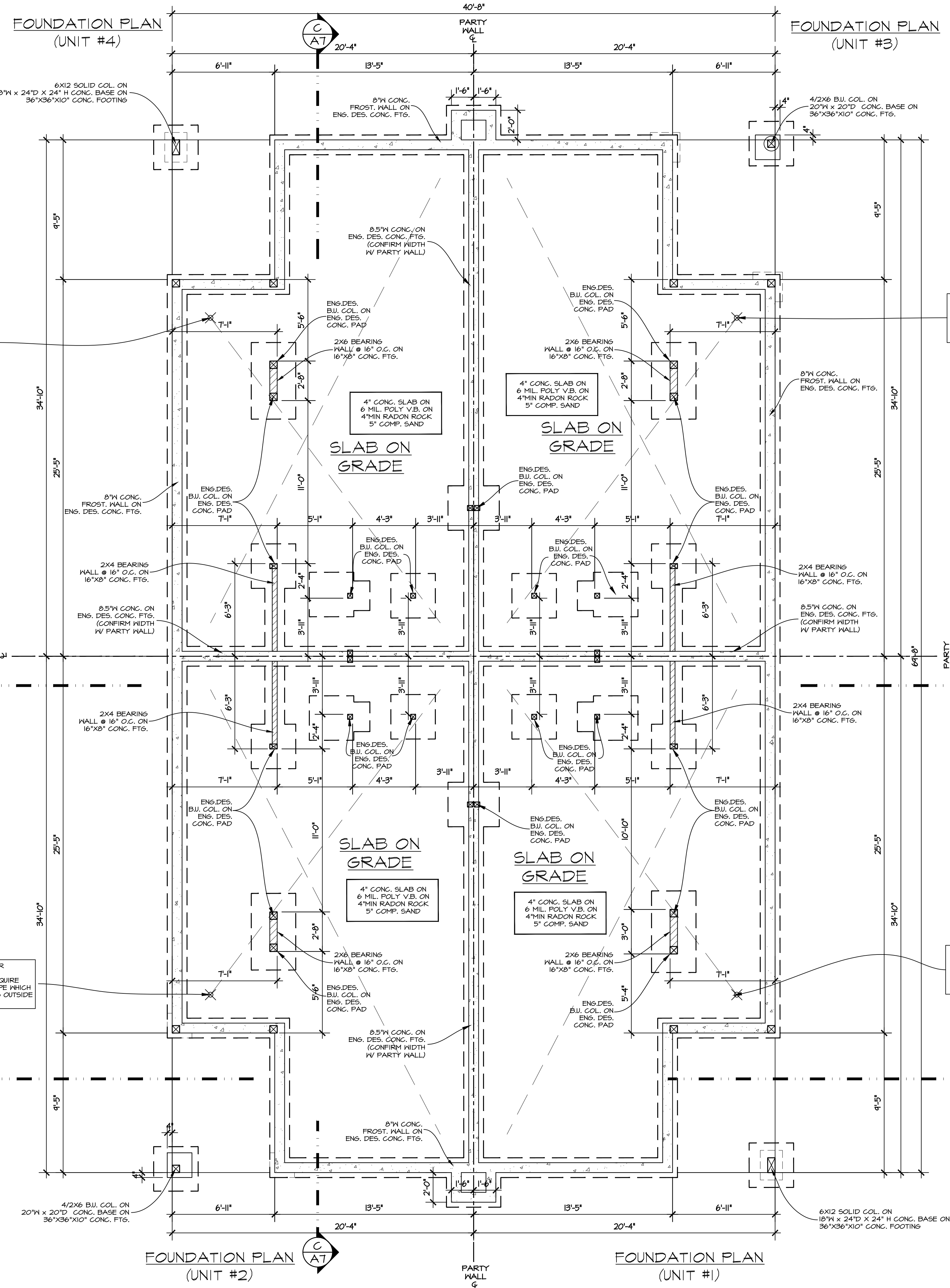
SHEET NAME
4-UNIT BLDG. NORTH & WEST ELEVATIONS

PROGRESS
FOR TENDER

REVISION	PLAN NUMBER:
B	871
SHEET NUMBER	SHEET
A3	3 OF 10

EGDRAFTING DRAFTING PROJECT NUMBER 20230701 - ROYAL CRAFT HOMES - 760 CADDER AVE. 4 FLEX DESIGN/NO TECH REV 1 FROM PLAN

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DRAINAGE TILE & BIG O DETAIL
SCALE: 1" = 1'-0"

FOOTINGS ARE TO BE DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 145 KPa (3000 PSF)

-BC BUILDING CODE PROVISIONS FOR THE ROUGH-IN FOR A SUB-FLOOR DEPRESSURIZATION SYSTEM NOW REQUIRE INSTALLATION OF A RADON VENT PIPE WHICH EXTENDS THROUGH, AND TERMINATES OUTSIDE THE BUILDING.

-BC BUILDING CODE PROVISIONS FOR THE ROUGH-IN FOR A SUB-FLOOR DEPRESSURIZATION SYSTEM NOW REQUIRE INSTALLATION OF A RADON VENT PIPE WHICH EXTENDS THROUGH, AND TERMINATES OUTSIDE THE BUILDING.

NOTES:
- FOUNDATION HEIGHTS MAY VARY AS PER SITE GRADE
- ALL FOOTINGS TO BE BELOW FROST LINE
- STEP FOOTINGS 2' MAX. VERT. & 2' MIN. HORIZ.

-STRUCTURAL ENGINEER TO CONFIRM ALL FOOTINGS, FOUNDATION WALLS, BEAMS, HEADERS, COLUMNS, BEARING WALLS, JOISTS, AND ANY OTHER STRUCTURAL COMPONENTS OF THE BUILDING.

-CONDUIT PROVISION REQUIRED FOR FUTURE SOLAR PANELS ON ROOF AS PER BUILDING CODE. TRUSSES TO BE DESIGNED TO CARRY SOLAR PANELS. CONTRACTOR TO CONFIRM.
-BC BUILDING CODE PROVISIONS FOR THE ROUGH-IN FOR A SUB-FLOOR DEPRESSURIZATION SYSTEM NOW REQUIRE INSTALLATION OF A RADON VENT PIPE WHICH EXTENDS THROUGH, AND TERMINATES OUTSIDE THE BUILDING.

LEGEND	
	FOUNDATION WALL
	INTERIOR BEARING WALL
	CONCRETE FOOTING

H.R.V. INSTALLED

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STRUCTURAL ENGINEER DRAWINGS FOR FOOTING & FOUNDATION DETAILS.

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PROJECT TITLE
760 CADDER AVE.

KELOWNA, BC

DATE: 07/12/23
DRAWING SCALE: 1/4" = 1'0"
DRAWN BY: EKG
CHECKED BY: EKG

APPROVED BY:
SHEET NAME
4-UNIT BLDG. FOUNDATION PLAN

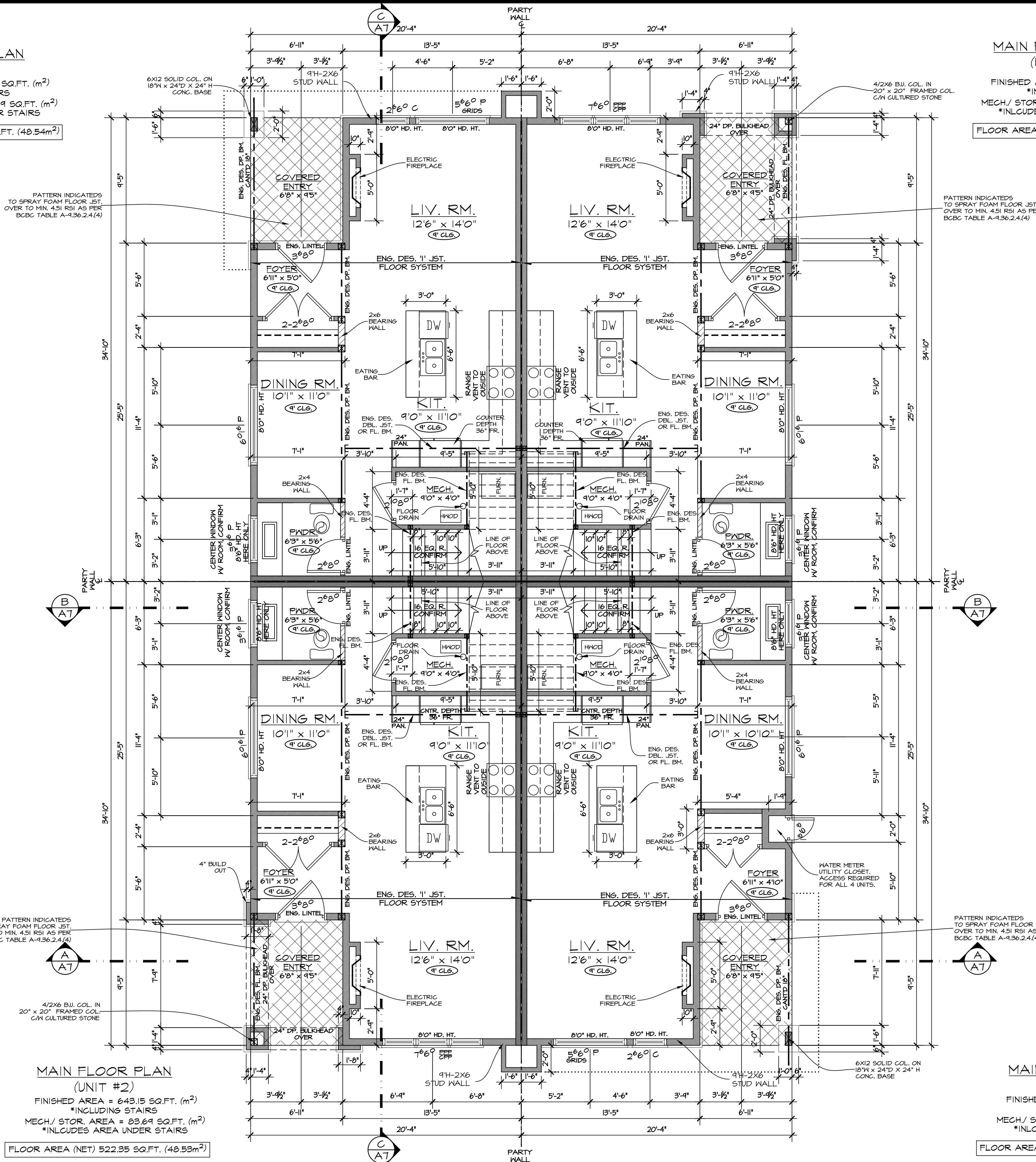
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SHEET NUMBER	SHEET
A4	4 OF 10

**MAIN FLOOR PLAN
(UNIT #4)**
 FINISHED AREA = 643.15 SQ.FT. (m²)
 *INCLUDING STAIRS
 MECH./STOR. AREA = 83.69 SQ.FT. (m²)
 *INCLUDES AREA UNDER STAIRS
FLOOR AREA (NET) 522.46 SQ.FT. (48.54m²)

**MAIN FLOOR PLAN
(UNIT #3)**
 FINISHED AREA = 643.15 SQ.FT. (m²)
 *INCLUDING STAIRS
 MECH./STOR. AREA = 83.69 SQ.FT. (m²)
 *INCLUDES AREA UNDER STAIRS
FLOOR AREA (NET) 522.35 SQ.FT. (48.53m²)

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NOTES:
 -FRAMER TO CONFIRM ALL PLUMBING FIXTURE & FIREPLACE R.O.'S PRIOR TO STARTING CONSTRUCTION.
 -FRAMER TO PROVIDE PROPER BACKING FOR TONEL BARS, GRAB BARS, CURTAIN RODS, CLOSET RODS, PAPER HOLDERS, AND SIMILAR FIXTURES AS REQ'D.
 -ELECTRICAL CONTRACTOR LAYOUT WITH CUSTOMER ON SITE PRIOR TO WIRING.
 -TRUSS LAYOUT AS PER ENG. DES. TRUSS DRAWINGS.
 -STRUCTURAL ENGINEER TO CONFIRM ALL FOOTINGS, FOUNDATION WALLS BEAMS, HEADERS, COLUMNS, BEARING WALLS, JOISTS, AND ANY OTHER STRUCTURAL COMPONENTS OF THE BUILDING.

-CONDUIT PROVISION REQUIRED FOR FUTURE SOLAR PANELS ON ROOF AS PER BUILDING CODE. TRUSSES TO BE DESIGNED TO CARRY SOLAR PANELS. CONTRACTOR TO CONFIRM.
 -BC BUILDING CODE PROVISIONS FOR THE ROUGH-IN FOR A SUB-FLOOR DEPRESSURIZATION SYSTEM NOW REQUIRE INSTALLATION OF A RADON VENT PIPE WHICH EXTENDS THROUGH, AND TERMINATES OUTSIDE THE BUILDING.

NOTE:
 -ALL WINDOW HEAD HEIGHTS TO BE 8'0" UNLESS NOTED
 -ALL DOORS TO BE 8'0" HIGH UNLESS NOTED.

LEGEND

	2X6 & 2X4 STUD WALL
	INTERIOR BEARING WALL
	RAILING

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KELOWNA, BC

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 DRAWN BY: EKG
 CHECKED BY: EKG
 APPROVED BY:

SHEET NAME

**4-UNIT BLDG.
MAIN FLOOR PLAN**

PROGRESS

FOR TENDER

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B	871
SHEET NUMBER	SHEET
A5	5 OF 10

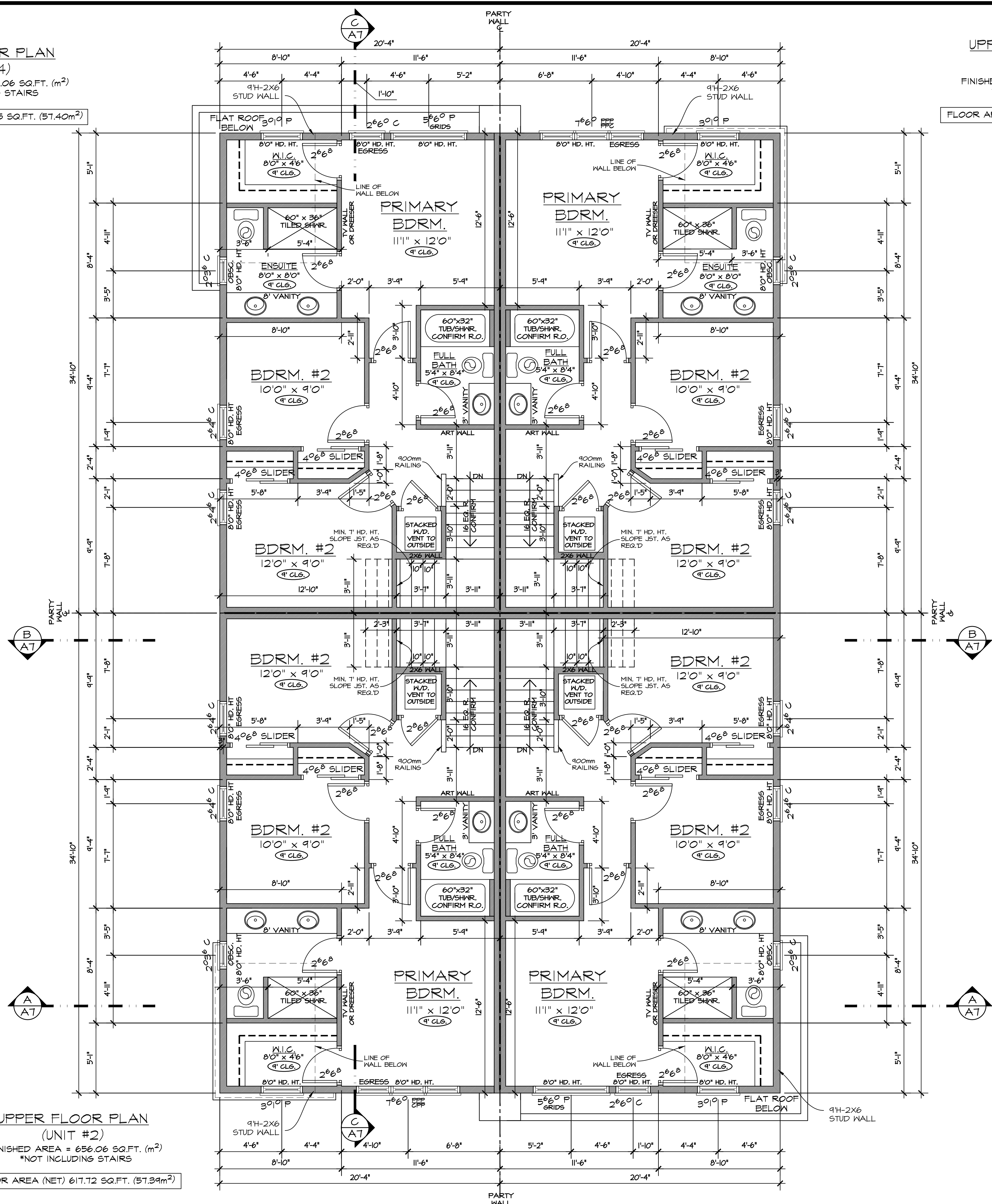
**MAIN FLOOR PLAN
(UNIT #2)**
 FINISHED AREA = 643.15 SQ.FT. (m²)
 *INCLUDING STAIRS
 MECH./STOR. AREA = 83.69 SQ.FT. (m²)
 *INCLUDES AREA UNDER STAIRS
FLOOR AREA (NET) 522.35 SQ.FT. (48.53m²)

**MAIN FLOOR PLAN
(UNIT #1)**
 FINISHED AREA = 643.15 SQ.FT. (m²)
 *INCLUDING STAIRS
 MECH./STOR. AREA = 83.69 SQ.FT. (m²)
 *INCLUDES AREA UNDER STAIRS
FLOOR AREA (NET) 522.46 SQ.FT. (48.54m²)

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UPPER FLOOR PLAN (UNIT #4)
 FINISHED AREA = 656.06 SQ.FT. (m²)
 *NOT INCLUDING STAIRS
FLOOR AREA (NET) 617.85 SQ.FT. (57.40m²)

UPPER FLOOR PLAN (UNIT #3)
 FINISHED AREA = 656.06 SQ.FT. (m²)
 *NOT INCLUDING STAIRS
FLOOR AREA (NET) 617.72 SQ.FT. (57.39m²)



NOTES:
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NOTE:
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LEGEND

	2X6 & 2X4 STUD WALL
	INTERIOR BEARING WALL
	RAILING

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UPPER FLOOR PLAN (UNIT #2)
 FINISHED AREA = 656.06 SQ.FT. (m²)
 *NOT INCLUDING STAIRS
FLOOR AREA (NET) 617.72 SQ.FT. (57.39m²)

UPPER FLOOR PLAN (UNIT #1)
 FINISHED AREA = 656.06 SQ.FT. (m²)
 *NOT INCLUDING STAIRS
FLOOR AREA (NET) 617.85 SQ.FT. (57.40m²)

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KELOWNA, BC

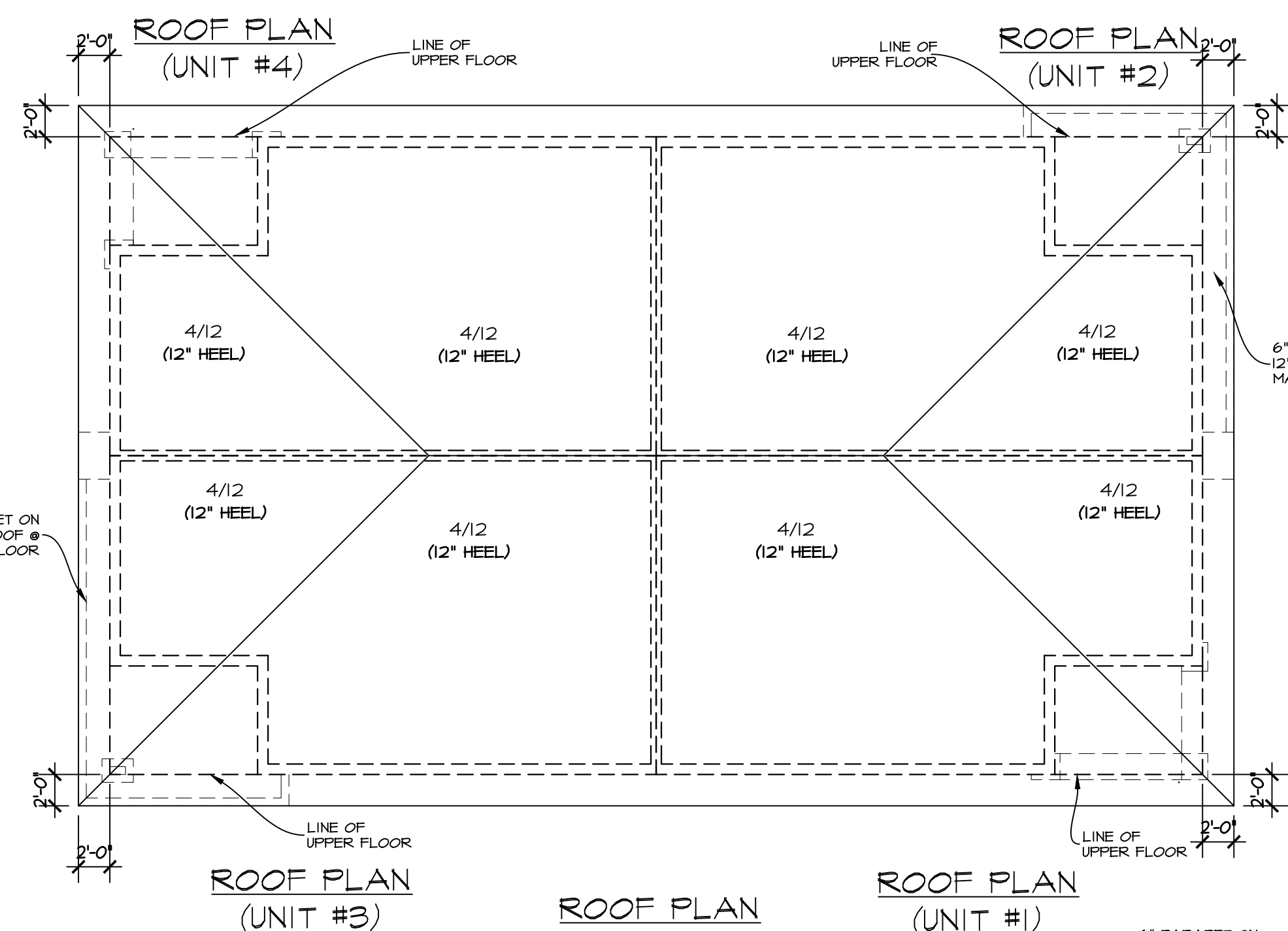
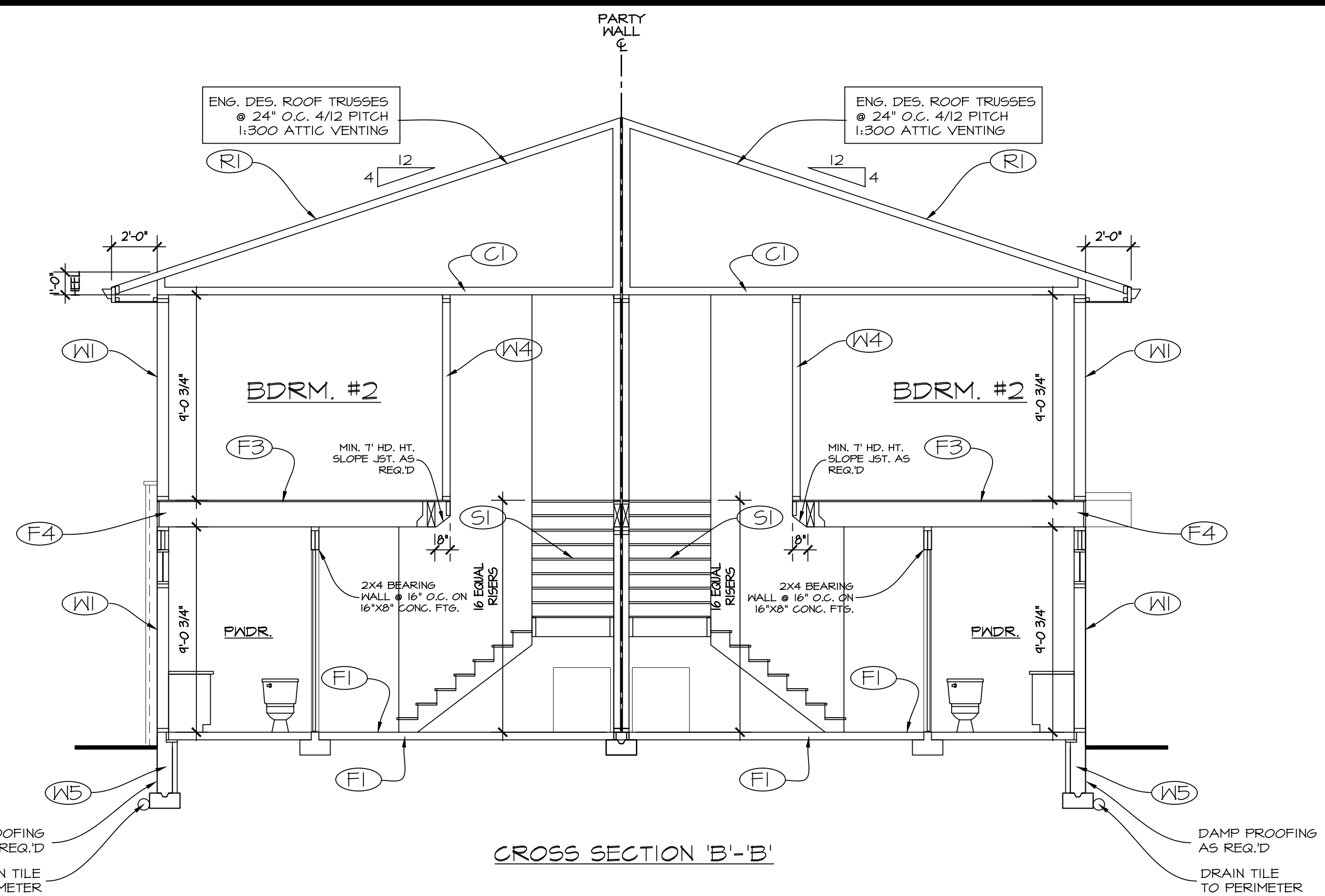
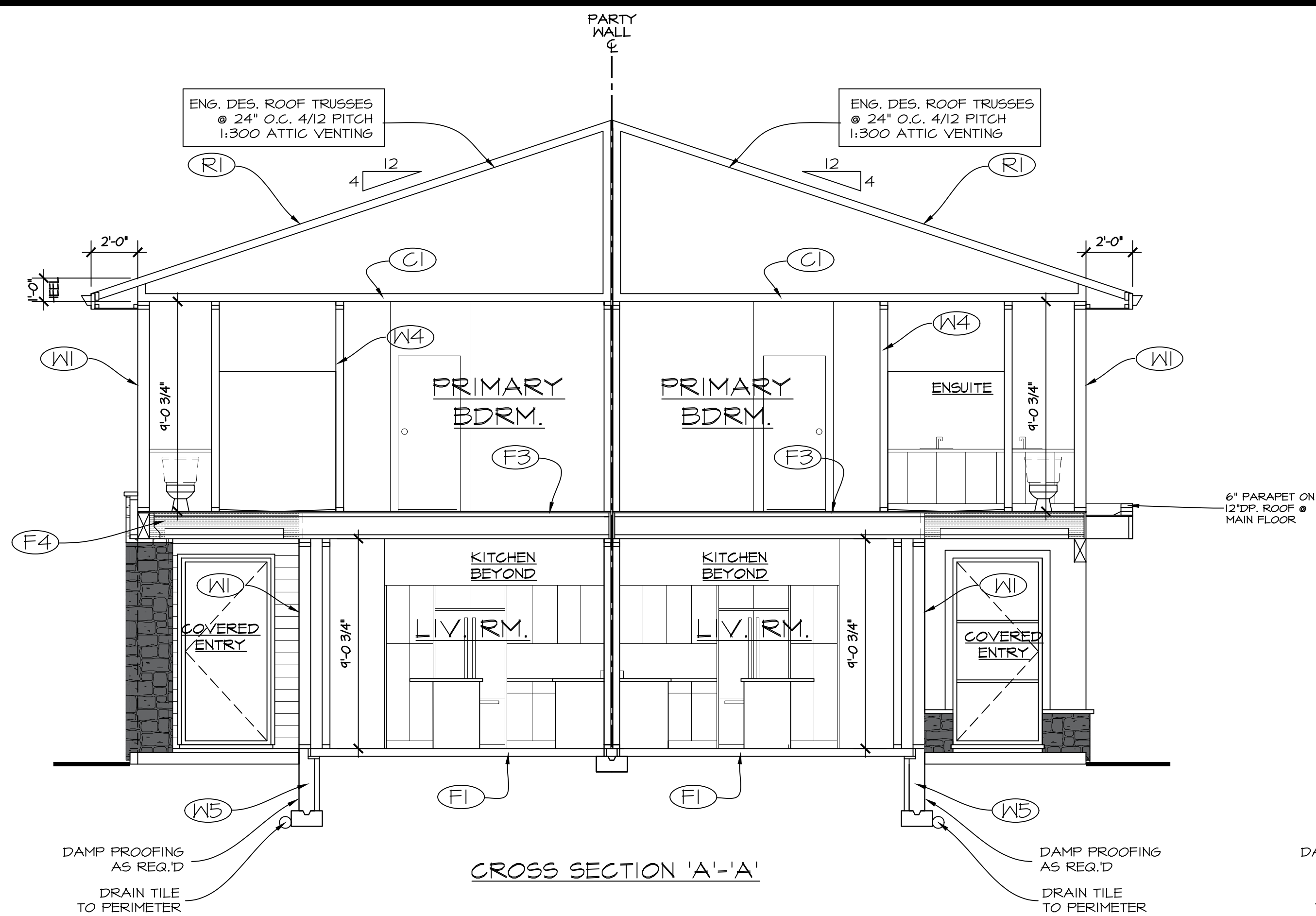
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DRAWN BY: EKG
CHECKED BY: EKG
APPROVED BY:
 SHEET NAME

4-UNIT BLDG. UPPER FLOOR PLAN

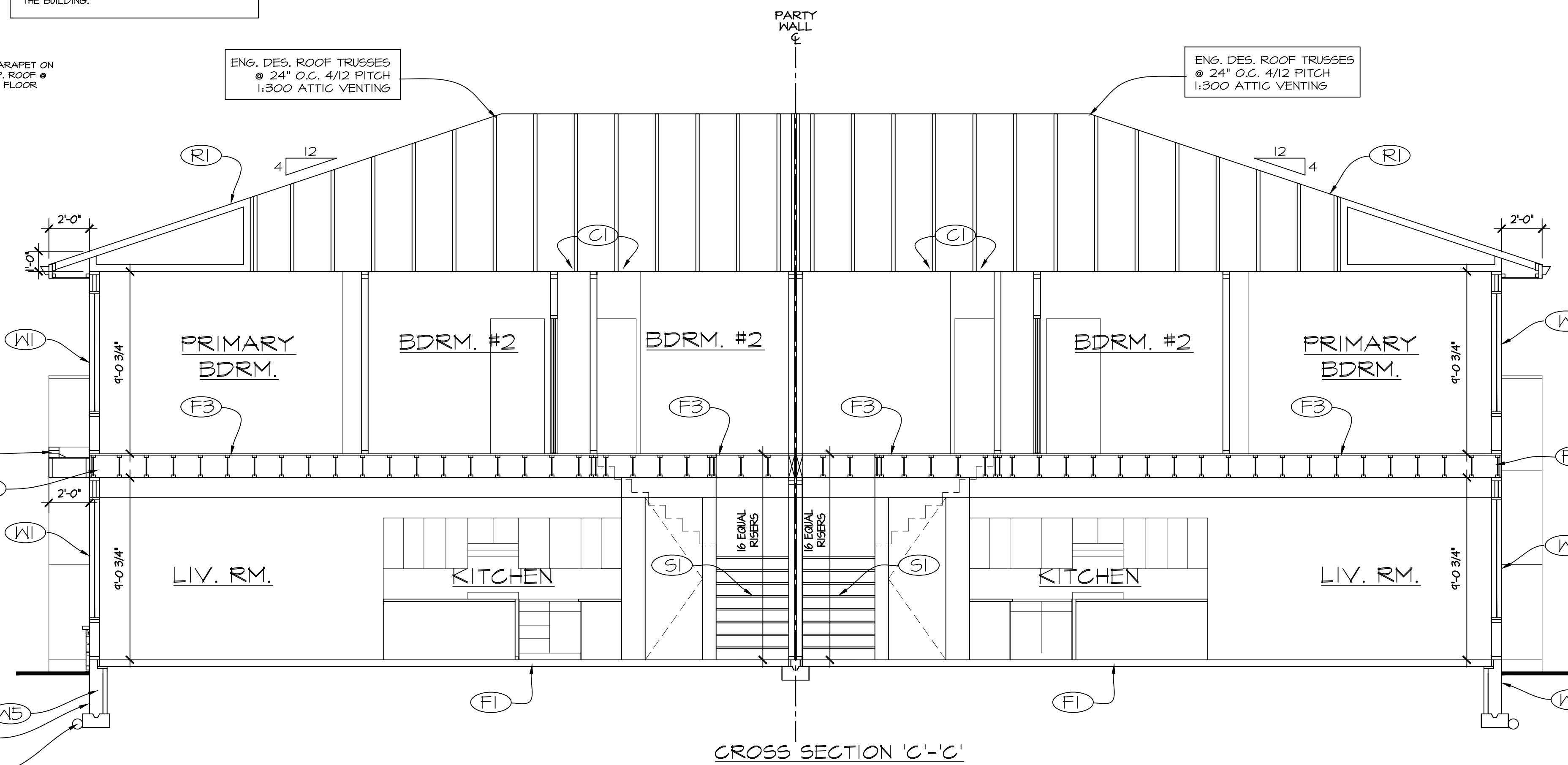
PROGRESS FOR TENDER

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B	871
SHEET NUMBER	SHEET
A6	6 OF 10

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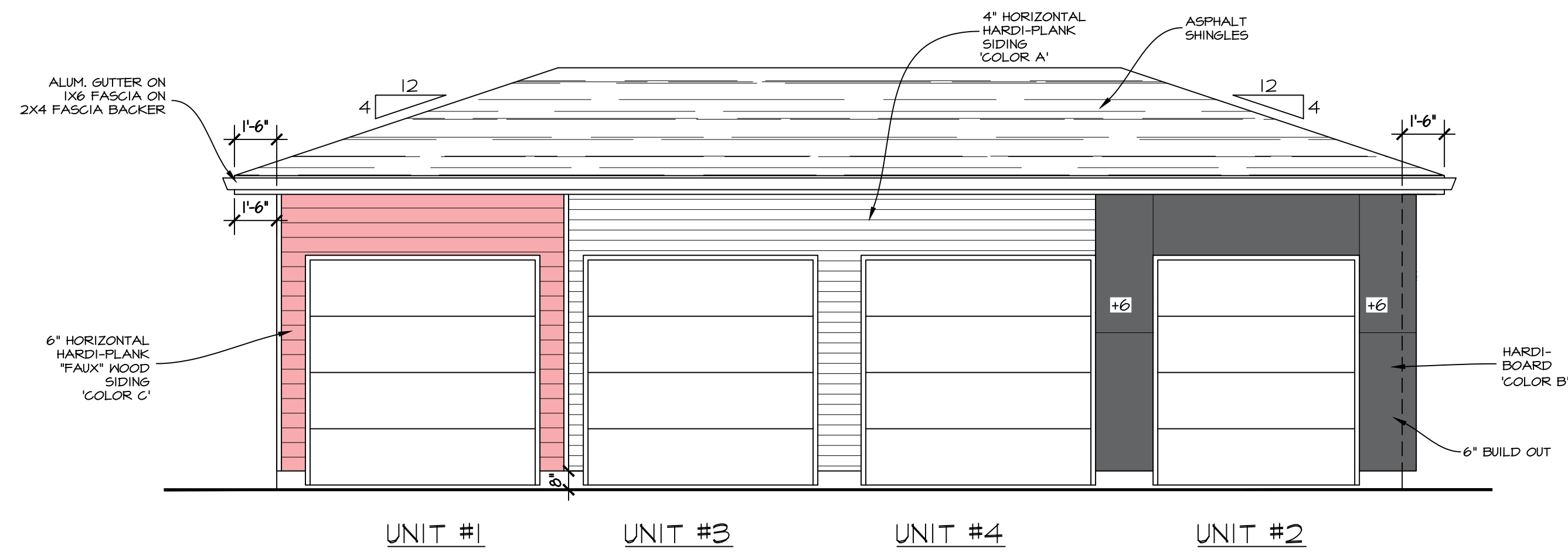
SHEET NAME
 4-UNIT BLDG.
 SECTIONS 'A'-A',
 'B'-B', 'C'-C'
 & ROOF PLAN

PROGRESS
FOR TENDER

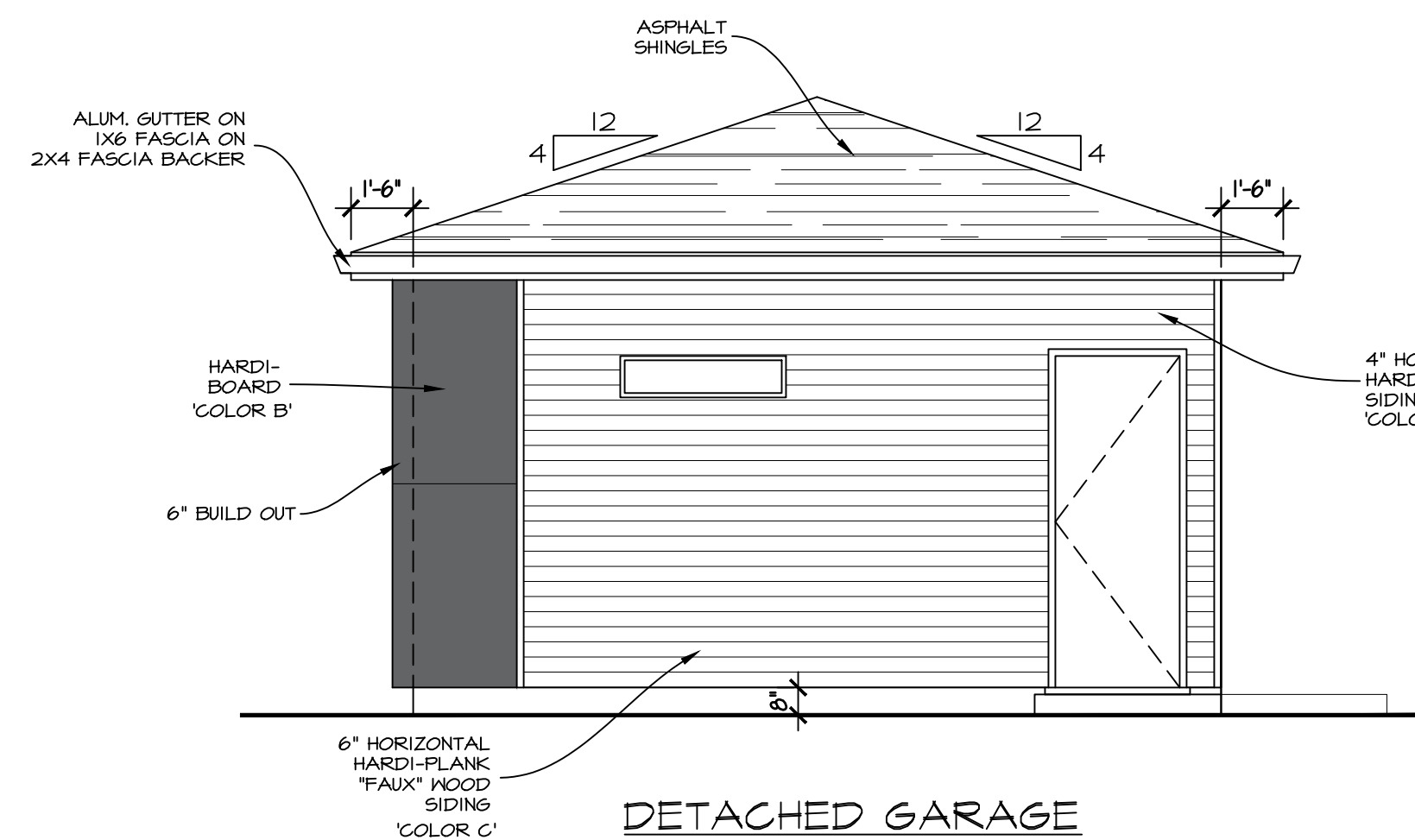
REVISION B	PLAN NUMBER: 871
SHEET NUMBER A7	SHEET 7 OF 10

EGDRAFTINGPROJECTINDIA022021 - ROYAL CRAFT HOMES - 760 CADDER AVE. 4-FLY DESIGNING TECHNIQUE 1 FROM PLAN

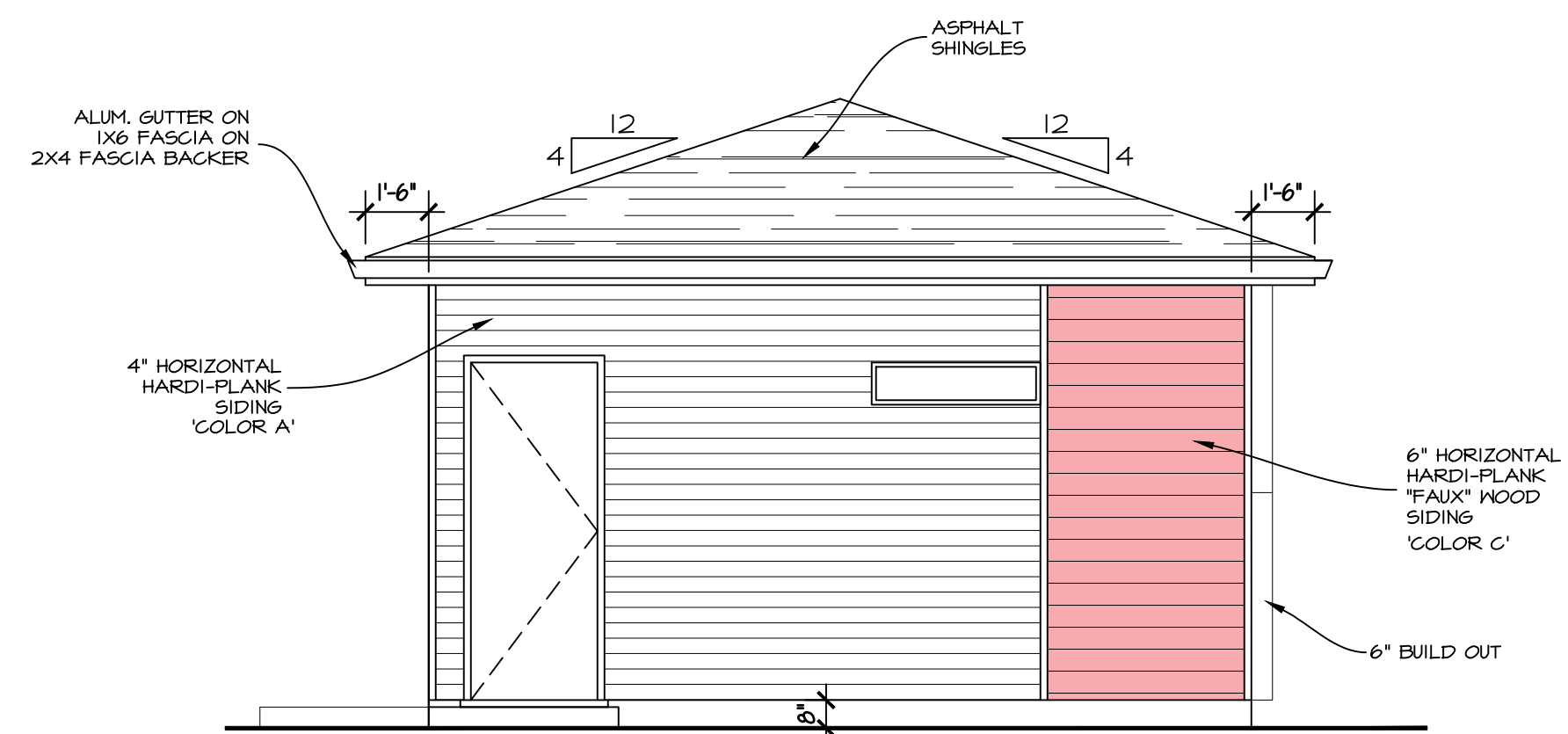
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REV	DATE	DESCRIPTION
A	05/19/23	ISSUED FOR CLIENT REVIEW
B	07/12/23	ISSUED FOR TENDER & DEVELOPMENT PERMIT
NOTE:		



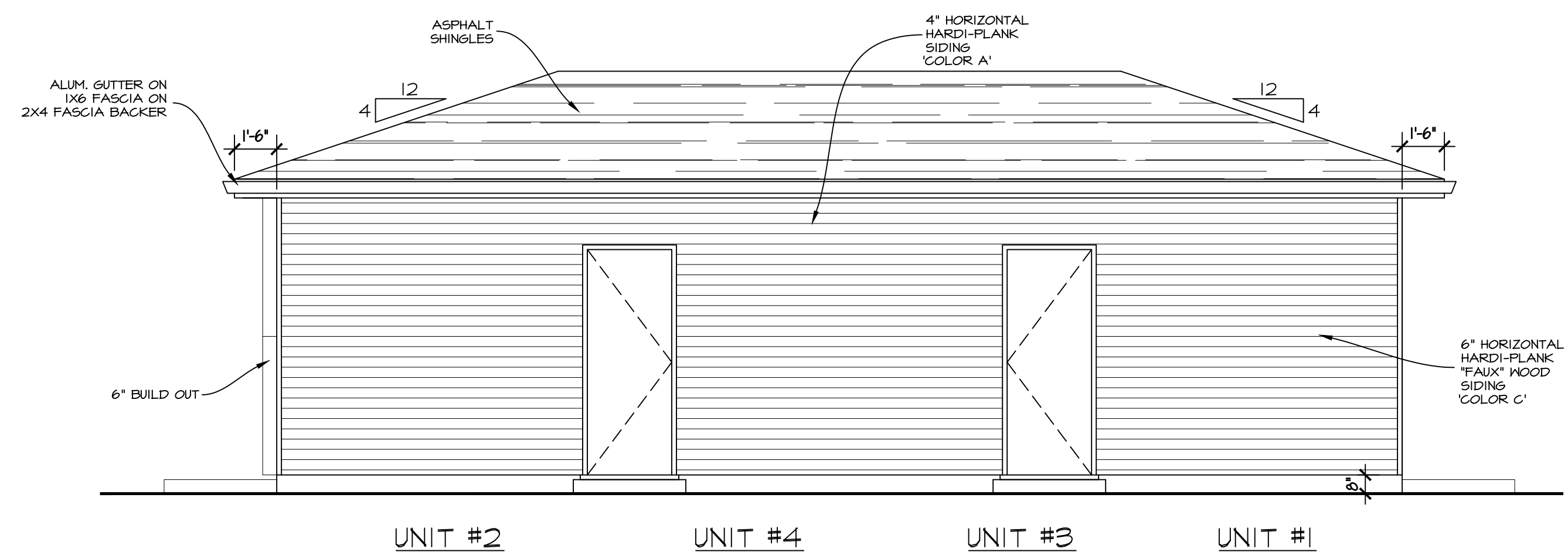
DETACHED GARAGE
NORTH ELEVATION
(ACCESSORY BUILDING)



DETACHED GARAGE
EAST ELEVATION
(ACCESSORY BUILDING)



DETACHED GARAGE
WEST ELEVATION
(ACCESSORY BUILDING)



DETACHED GARAGE
SOUTH ELEVATION
(ACCESSORY BUILDING)

SOFFITS PROJECTING INTO 1.2m SETBACK TO BE UNVENTED AND PROTECTED. SEE BC.BC.A-9.10.15.5 IN APPENDIX A

ERRORS AND OMISSIONS

- EVAN GILBERT DRAFTING & DESIGN INC. shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT DRAFTING & DESIGN INC. makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans

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evan@egdrafting.ca

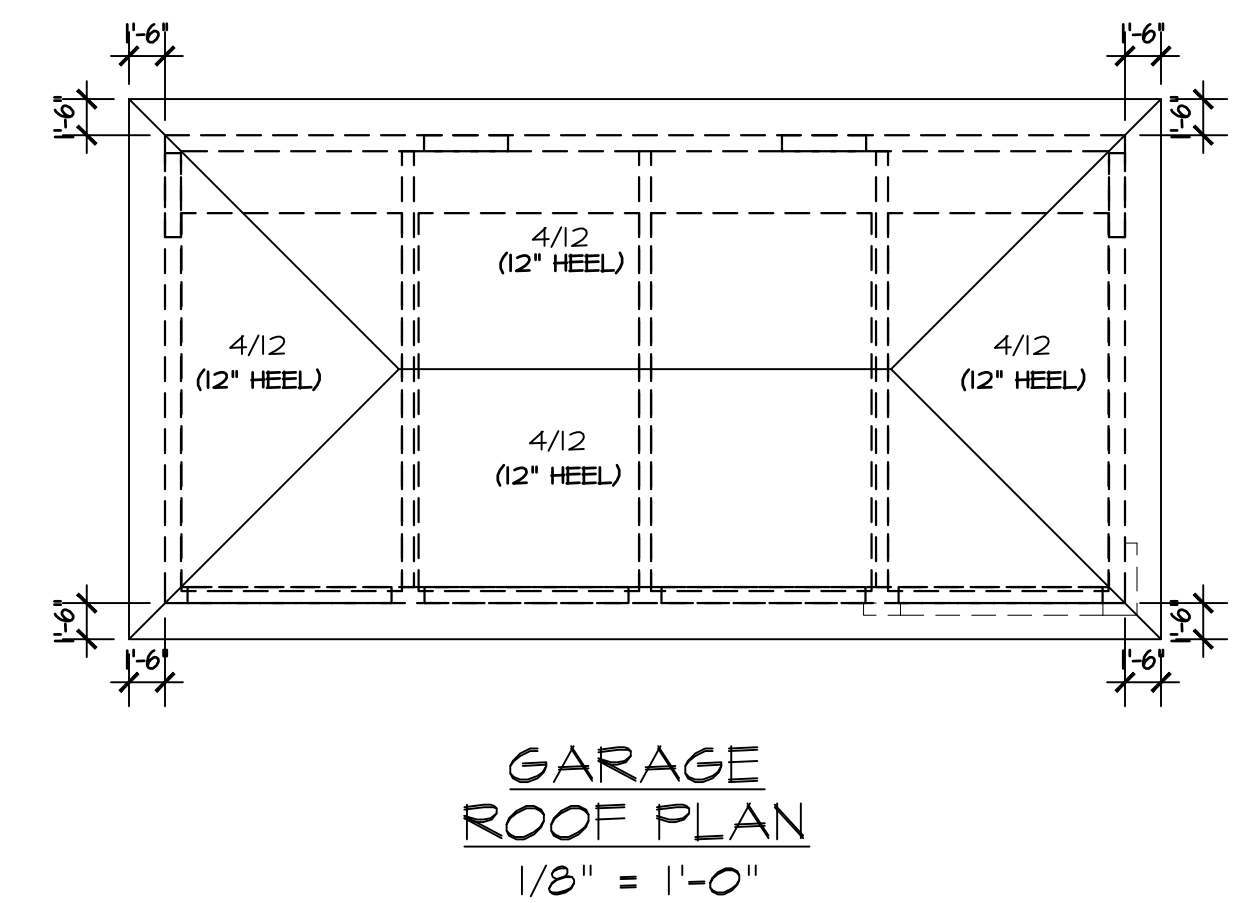
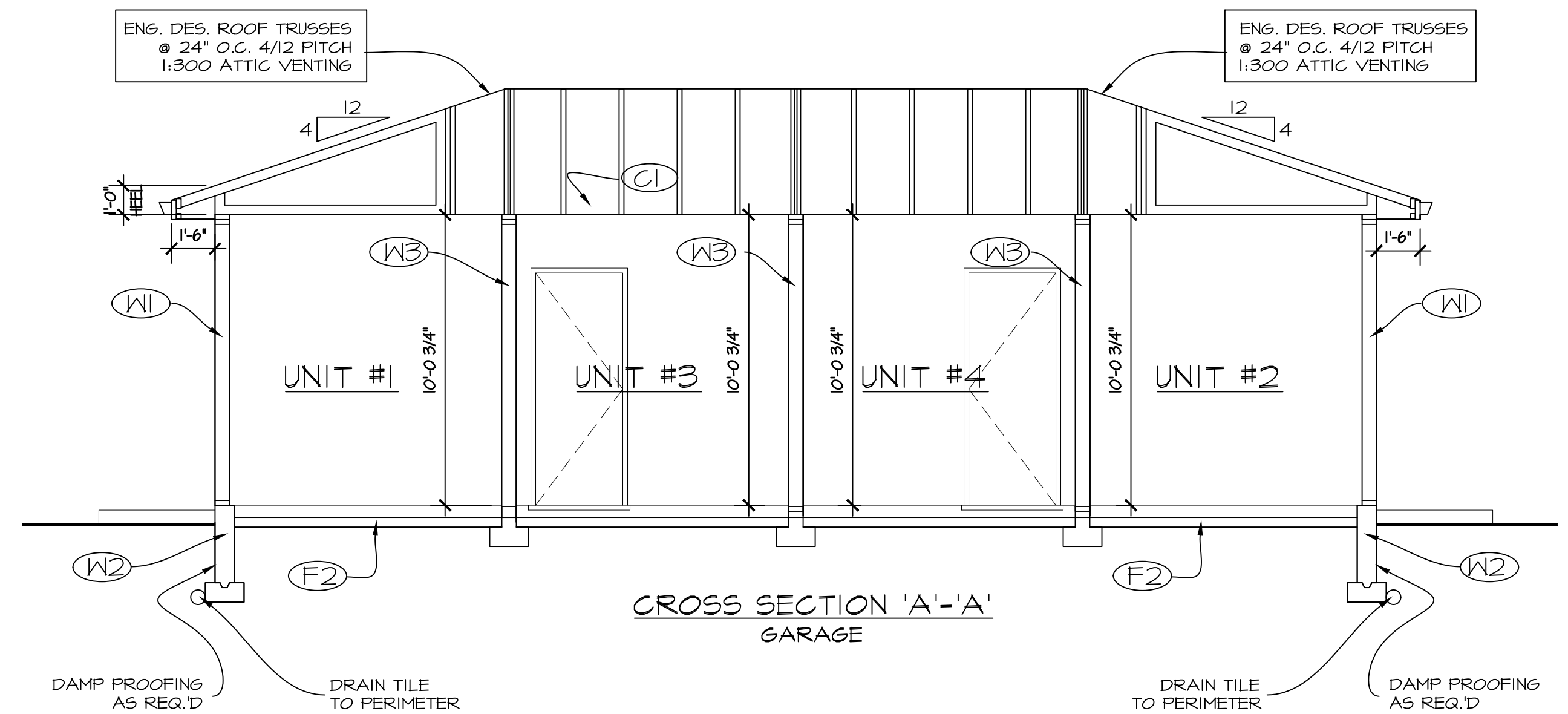
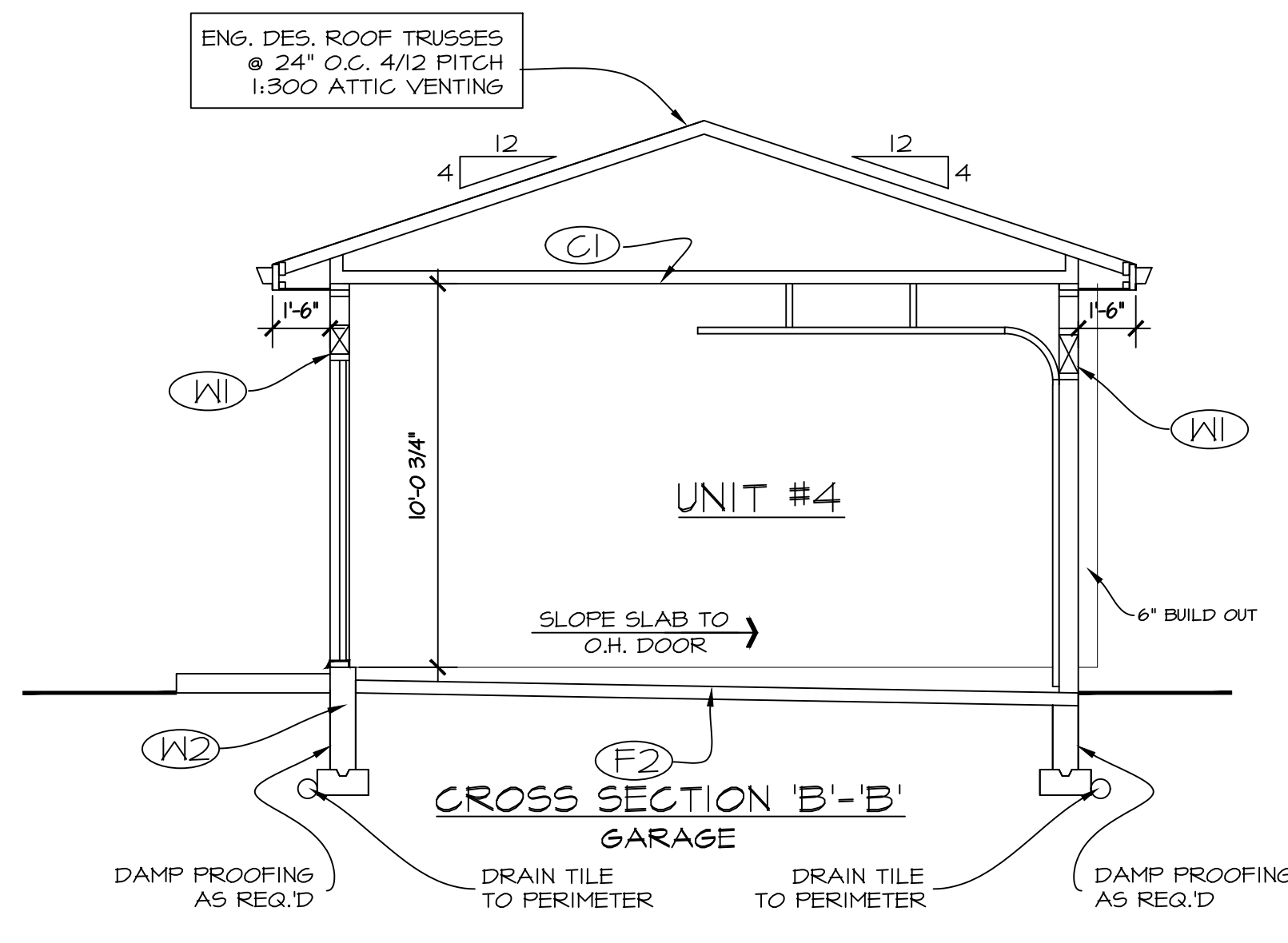
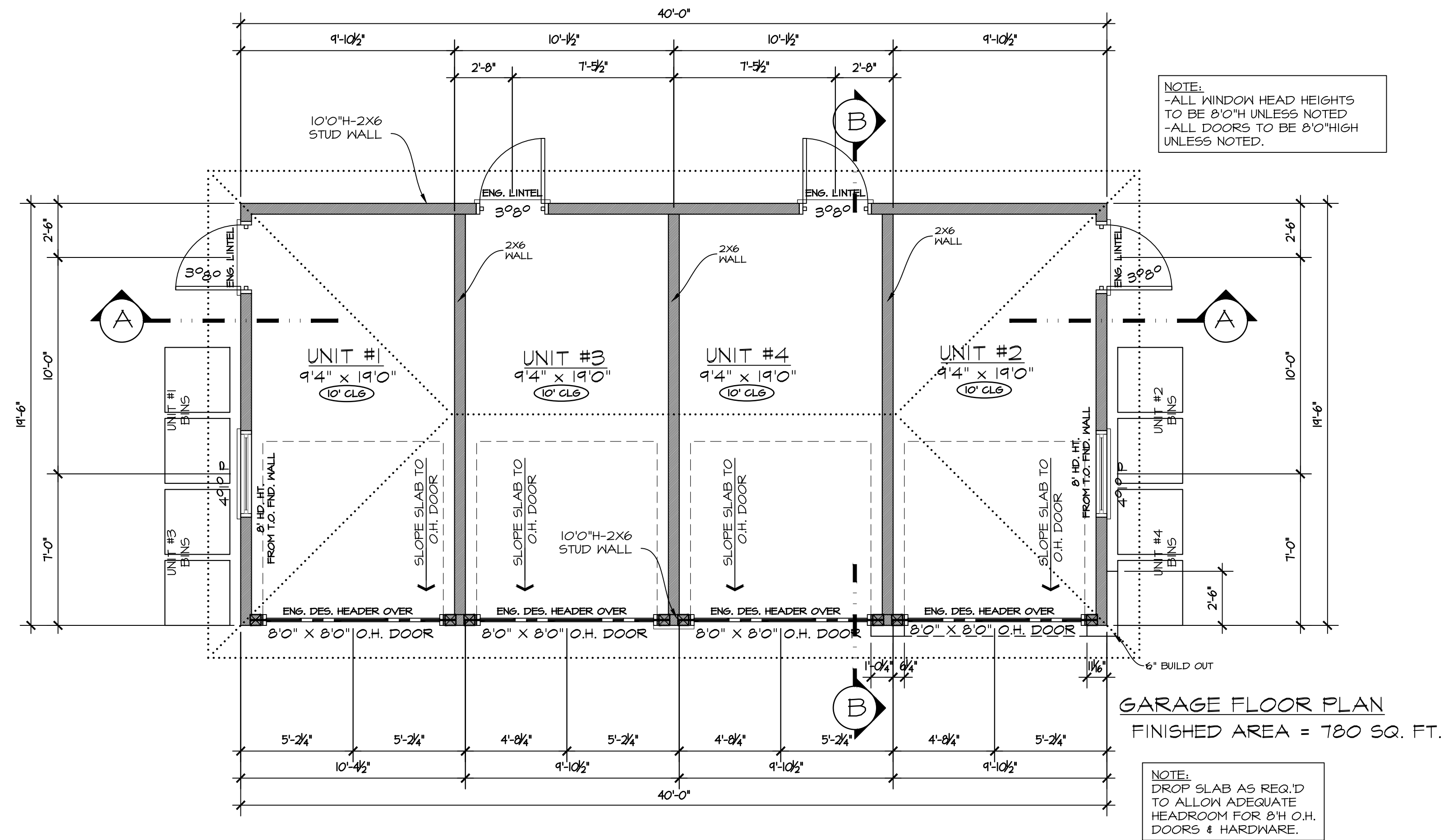
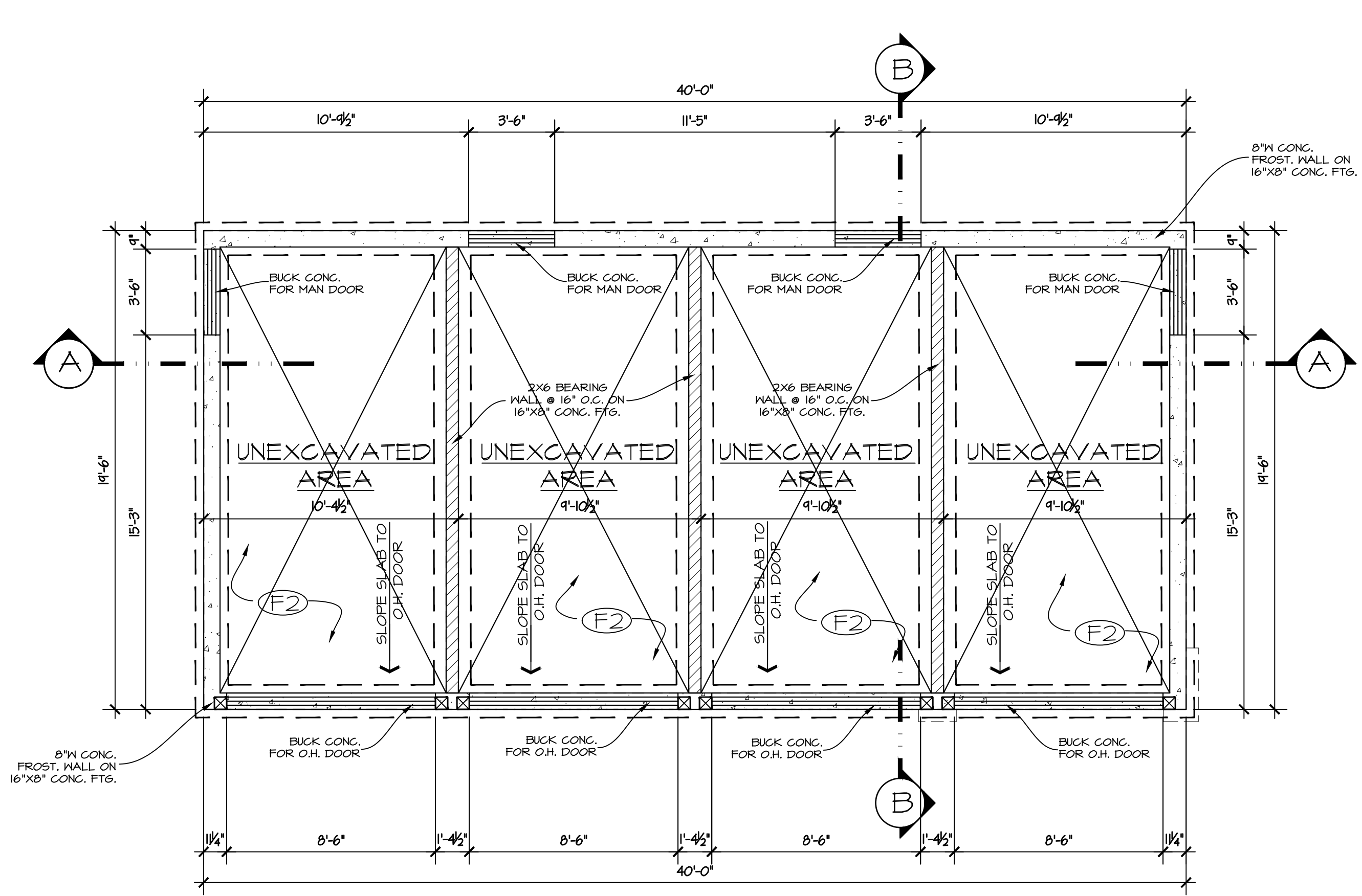
PROJECT TITLE
760 CADDER AVE.
KELOWNA, BC

DATE: 07/12/23
DRAWING SCALE: 1/4" = 1'0"
DRAWN BY: EKG
CHECKED BY: EKG

APPROVED BY:
SHEET NAME
4-UNIT GARAGE ELEVATIONS

PROGRESS	
FOR TENDER	
REVISION B	PLAN NUMBER: 871
SHEET NUMBER A8	SHEET 8 OF 10

REVISIONS		
REV	DATE	DESCRIPTION
A	05/19/23	ISSUED FOR CLIENT REVIEW
B	07/12/23	ISSUED FOR TENDER & DEVELOPMENT PERMIT
NOTE:		



H.R.V. INSTALLED

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NOTES:

- FOUNDATION HEIGHTS MAY VARY AS PER SITE GRADE
- ALL FOOTINGS TO BE BELOW FROST LINE
- STEP FOOTINGS 2' MAX. VERT. & 2' MIN. HORIZ.
- STRUCTURAL ENGINEER TO CONFIRM ALL FOOTINGS, FOUNDATION WALLS BEAMS, HEADERS, COLUMNS, BEARING WALLS, JOISTS, AND ANY OTHER STRUCTURAL COMPONENTS OF THE BUILDING.

-CONDUIT PROVISION REQUIRED FOR FUTURE SOLAR PANELS ON ROOF AS PER BUILDING CODE. TRUSSES TO BE DESIGNED TO CARRY SOLAR PANELS. CONTRACTOR TO CONFIRM.

-BC BUILDING CODE PROVISIONS FOR THE ROUGH-IN FOR A SUB-FLOOR DEPRESSURIZATION SYSTEM NOW REQUIRE INSTALLATION OF A RADON VENT PIPE WHICH EXTENDS THROUGH, AND TERMINATES OUTSIDE THE BUILDING.

NOTES:

- FRAMER TO CONFIRM ALL PLUMBING FIXTURE & FIREPLACE R.O.'S PRIOR TO STARTING CONSTRUCTION.
- FRAMER TO PROVIDE PROPER BACKING FOR TONEL BARS, GRAB BARS, CURTAIN RODS, CLOSET RODS, PAPER HOLDERS, AND SIMILAR FIXTURES AS REQ'D
- ELECTRICAL CONTRACTOR LAYOUT WITH CUSTOMER ON SITE PRIOR TO WIRING.
- TRUSS LAYOUT AS PER ENG. DES. TRUSS DRAWINGS.

SOFFITS PROJECTING INTO 1.2m SETBACK TO BE UNVENTED AND PROTECTED. SEE BC.BC.A-9.10.15.5 IN APPENDIX A

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PROJECT TITLE
760 CADDER AVE.

KELOWNA, BC

DATE: 07/12/23
DRAWING SCALE: 1/4" = 1'-0"
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CHECKED BY: EKG

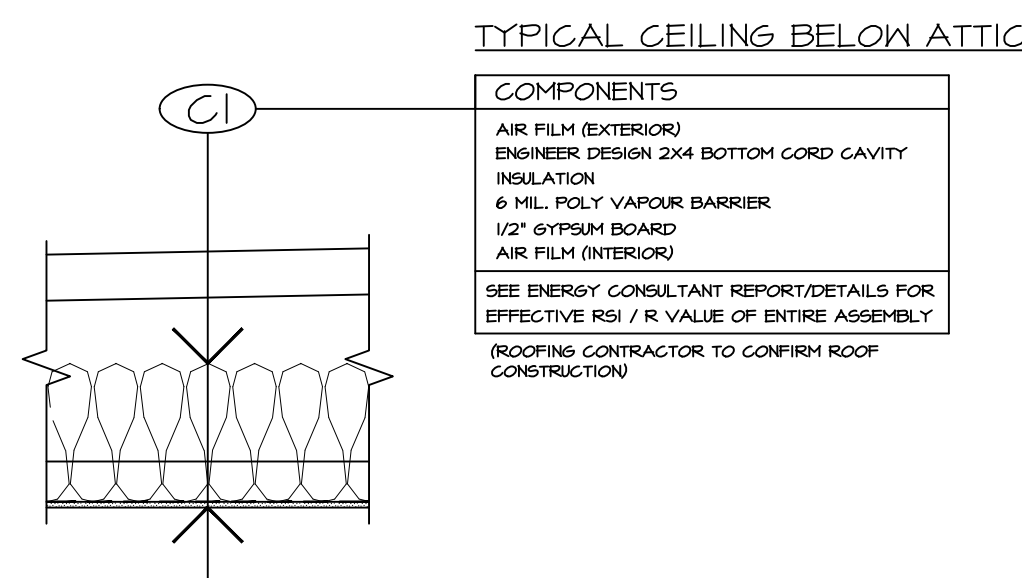
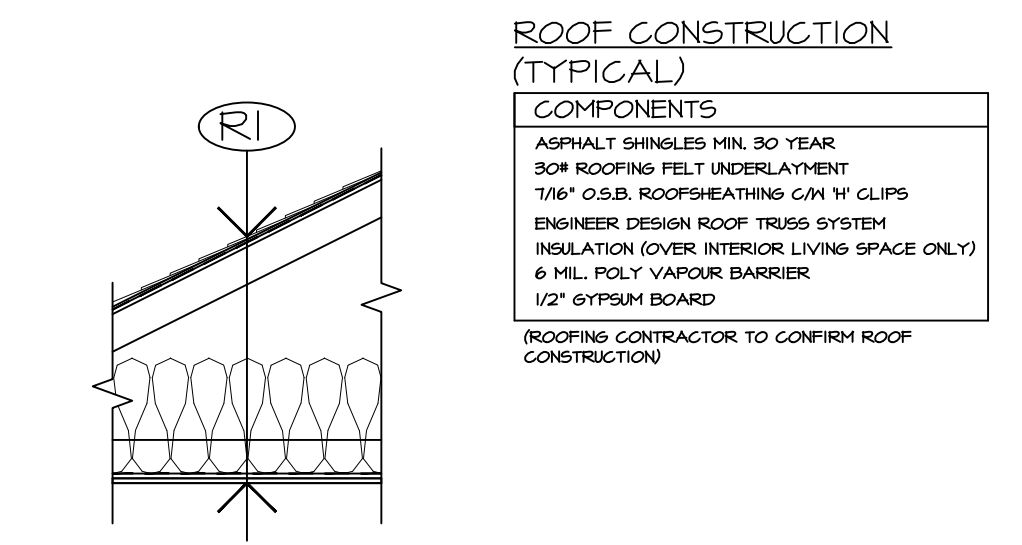
APPROVED BY:
SHEET NAME
4-CAR ACCESSORY MAIN & FNDN PLAN, SECTIONS & ROOF PLAN

PROGRESS
FOR TENDER

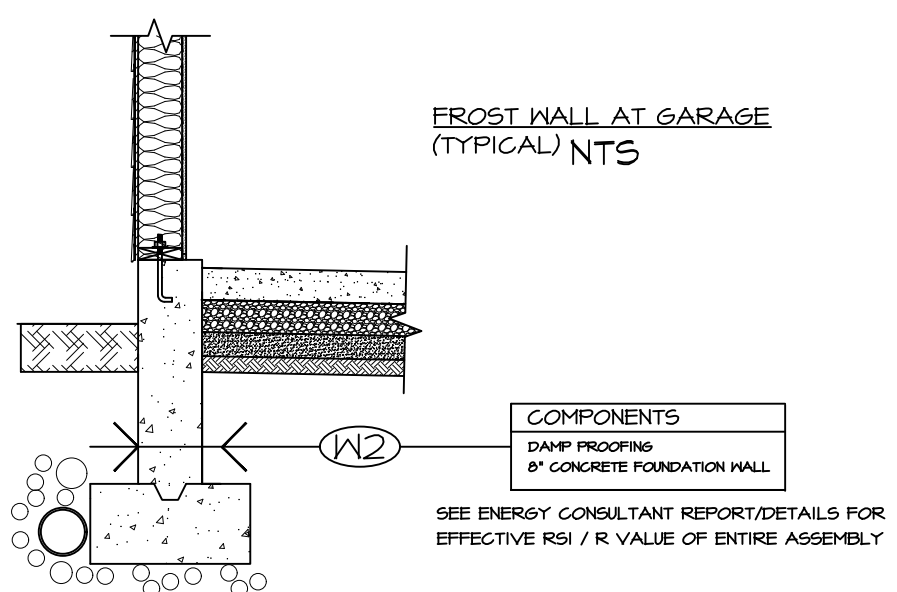
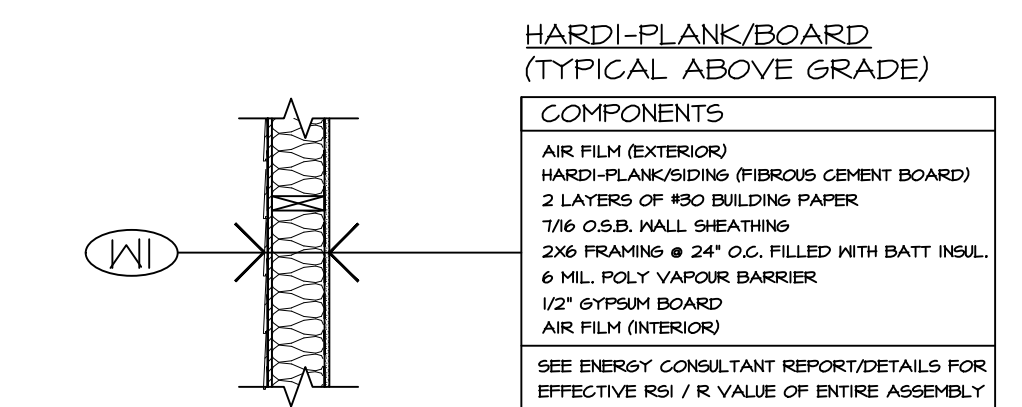
REVISION	PLAN NUMBER:
B	871
SHEET NUMBER	SHEET
A9	9 OF 10

REVISIONS		
REV	DATE	DESCRIPTION
A	05/19/23	ISSUED FOR CLIENT REVIEW
B	07/12/23	ISSUED FOR TENDER & DEVELOPMENT PERMIT
NOTE:		

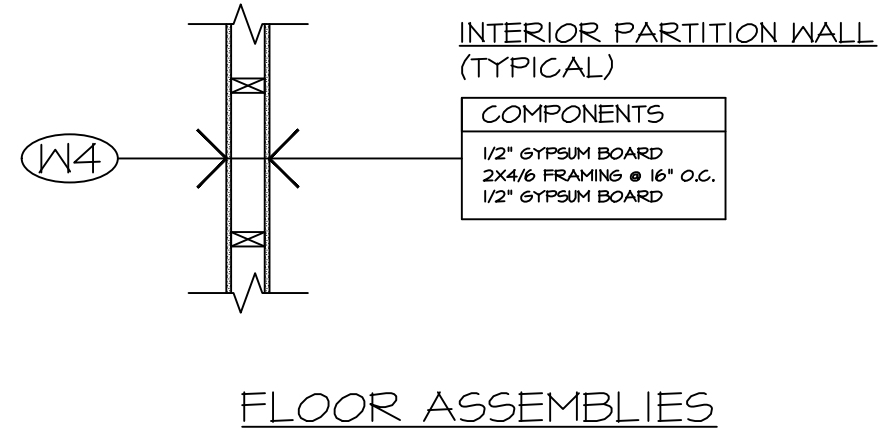
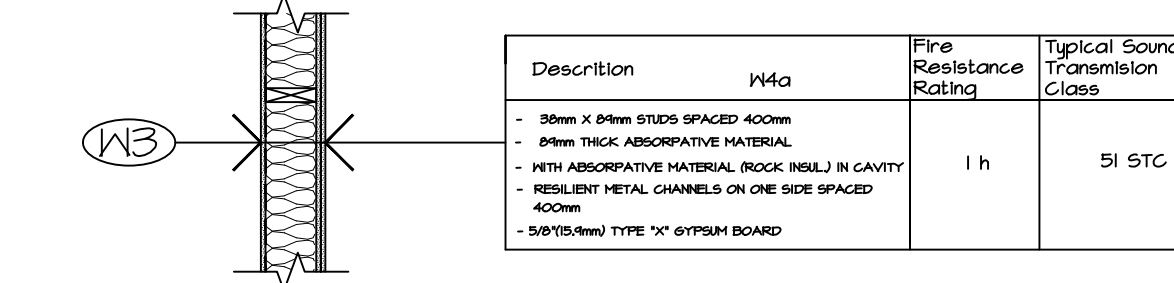
ROOF & CEILING ASSEMBLIES



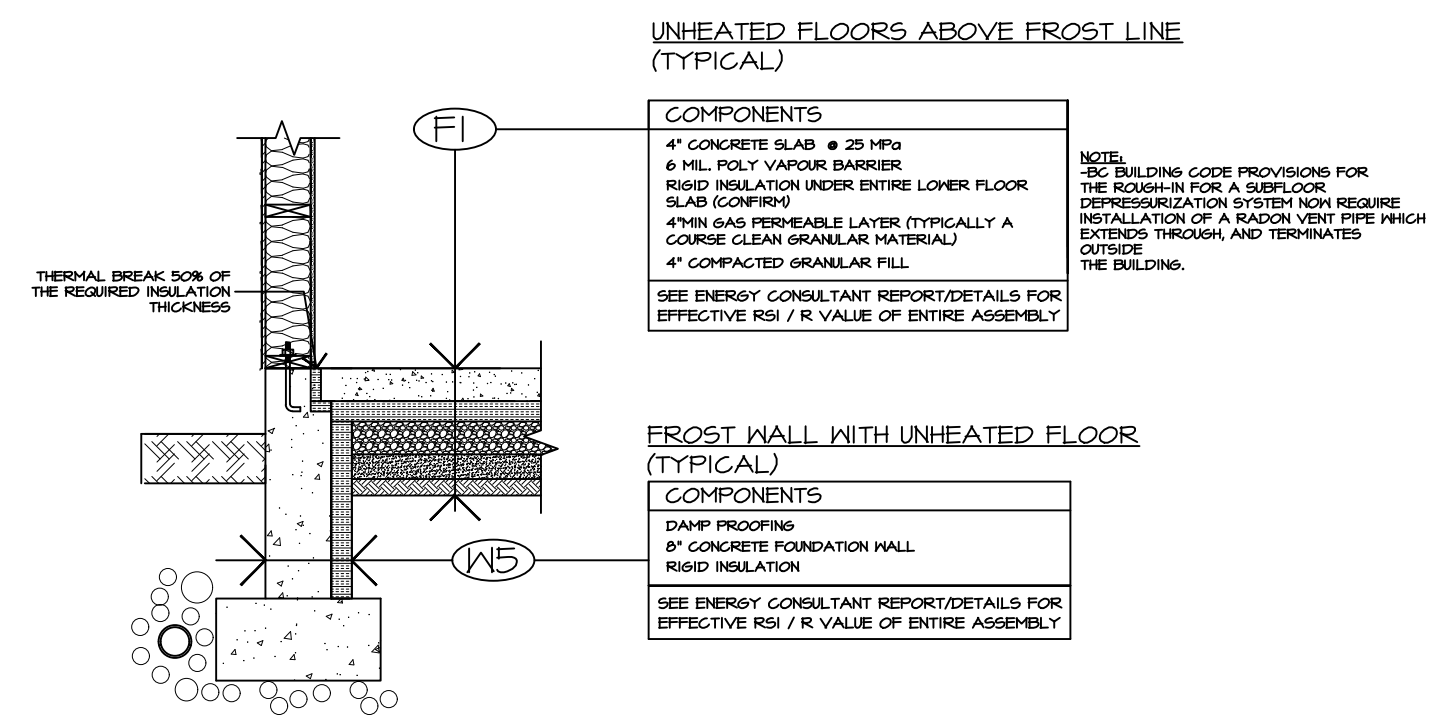
WALL ASSEMBLIES



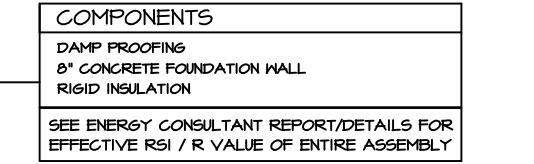
GARAGE INTERIOR WALL (UNCONDITIONED SPACE)



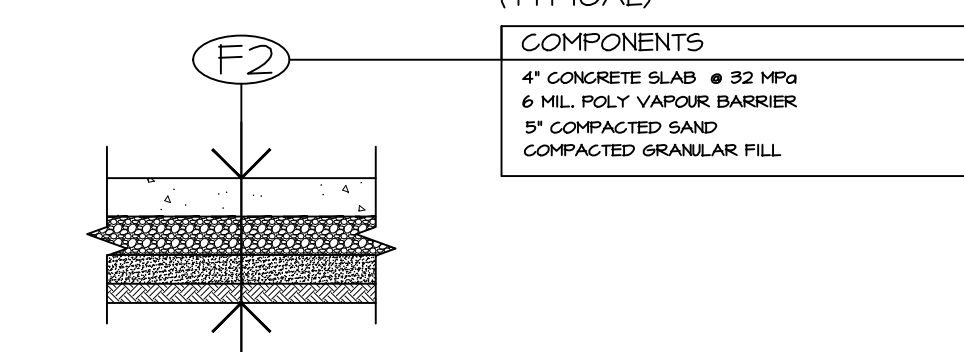
FLOOR ASSEMBLIES



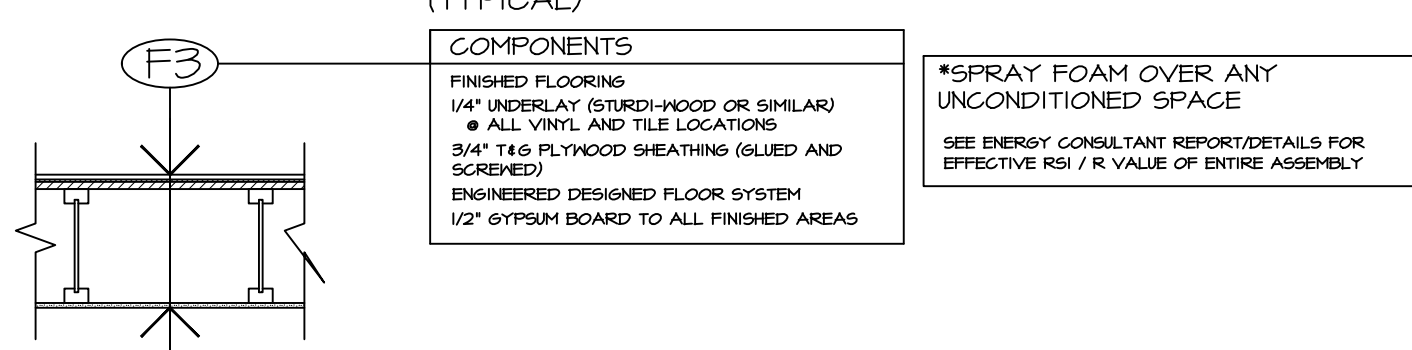
FROST WALL WITH UNHEATED FLOOR (TYPICAL)



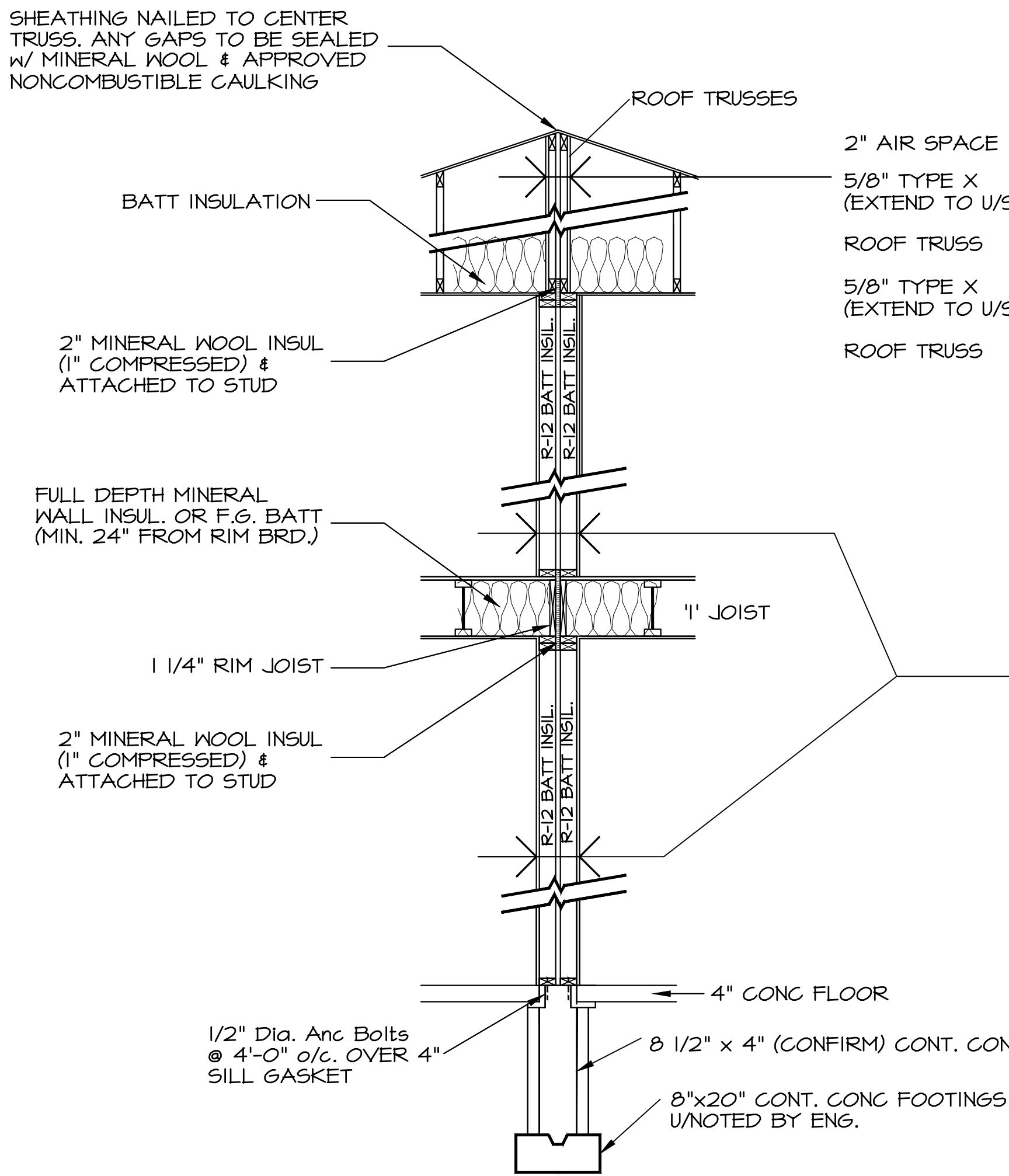
GARAGE FLOOR ABOVE FROST LINE (TYPICAL)



INTERIOR FLOOR CONSTRUCTION (TYPICAL)

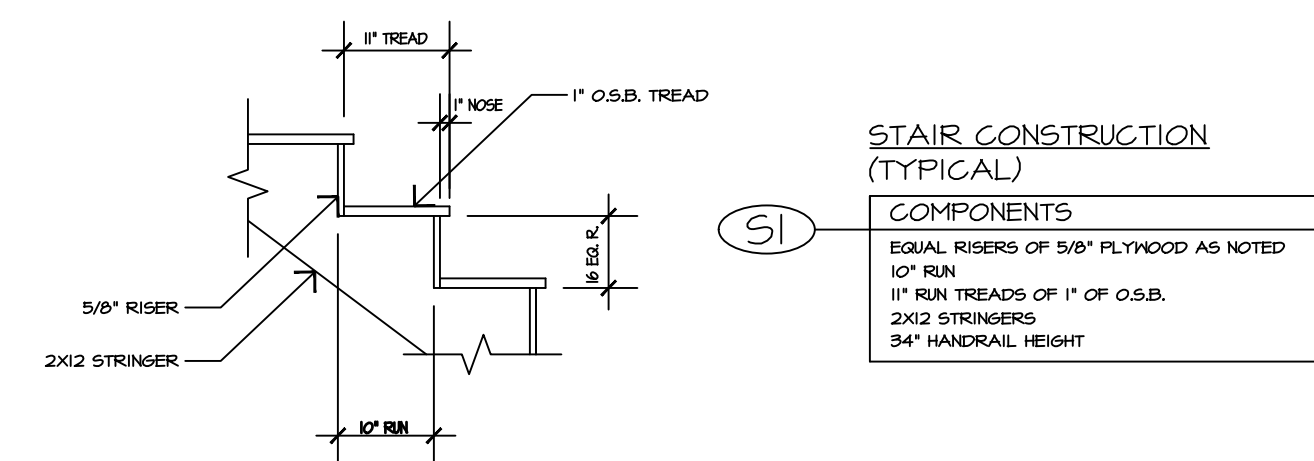
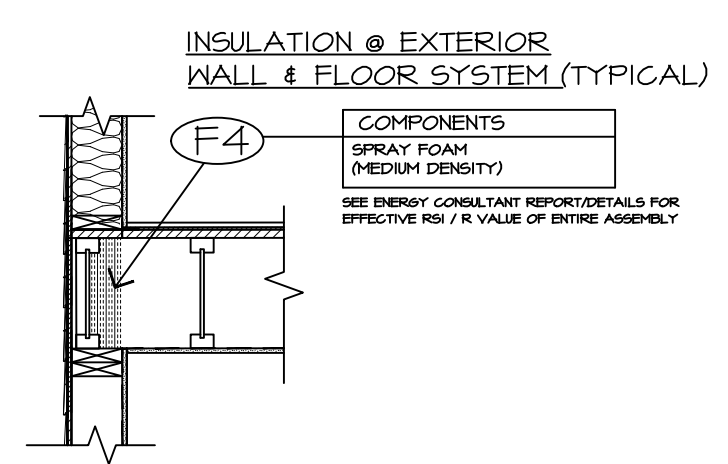


H.R.V. INSTALLED



B.C.B.C. TABLE A-9.10.3.1.A
W9A - 1.5 HR. FRR - STC 56

- 5/8" TYPE 'X' DRYWALL
- 2x4 @ 16" O.C. C/M R-12 BATT INSULATION
- 1/2" DONAGONA
- 1" AIR SPACE
- 2x4 @ 16" O.C. C/M R-12 BATT INSULATION
- 1/2" DONAGONA
- 5/8" TYPE 'X' DRYWALL



GENERAL NOTES

- All work to be in compliance with the current residential standards of the National Building Code of Canada, current electrical and plumbing codes and all local building code and bylaws which may take precedence.
- All work shall be performed in all respects to good building practice.
- Written dimensions to be followed. DO NOT scale from drawings.
- All floor joists and beams to be D.T.Y./Larch #2 or better or as noted.
- Wood in contact with concrete to be damp-proofed with 45 lb. felt, 6 mil. poly or other approved method.
- Plates to be anchored to concrete with 1/2" dia. anchor bolts at maximum 6'0" O.C. and at all corners.

- All measurements, grades and levels to be verified on site before commencing construction.
- Perimeter drainage shall be installed where required by local authorities having jurisdiction and to their approval.
- All concrete to have a minimum compressive strength of 20 mpa at 28 days.
- Floor joists spans of more than 7'0" shall be bridged at mid-span or at 7'0" O.C. maximum. Bridging shall be 2"x2" diagonal type cross bridging installed as required by the N.B.C.
- Flashing to be installed at all penetrations in roof systems and changes in roof plane.
- All electrical/plumbing fixturing to be verified with owner.
- Flashing to be installed at all changes in horizontal exterior finishings and over all unprotected openings. Caulking to be installed around all unflashed exterior openings.

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INTERIOR SWING DOORS
Rough opening is always 82 1/2" high x 2" greater than nominal door size.
EXAMPLE: 2/8 X 6/8 = 34" X 82 1/2"

INTERIOR BIFOLDS
Rough openings for 2 panel doors are 1 1/4" greater than nominal door width & 1 1/2" greater than door height.
EXAMPLE: 3/0 x 6/8 = 37 1/4" X 81 1/2"
Rough openings for 4 panel doors are 1" greater than nominal door width and 1 1/2" greater than height.
EXAMPLE: 5/0 x 6/8 = 61" x 81 1/2"

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CHECKED BY: EKG
APPROVED BY:

SHEET NAME
ASSEMBLIES DETAILS, & NOTES

PROGRESS

FOR TENDER

REVISION	PLAN NUMBER:
B	871
SHEET NUMBER	SHEET
A10	10 OF 10